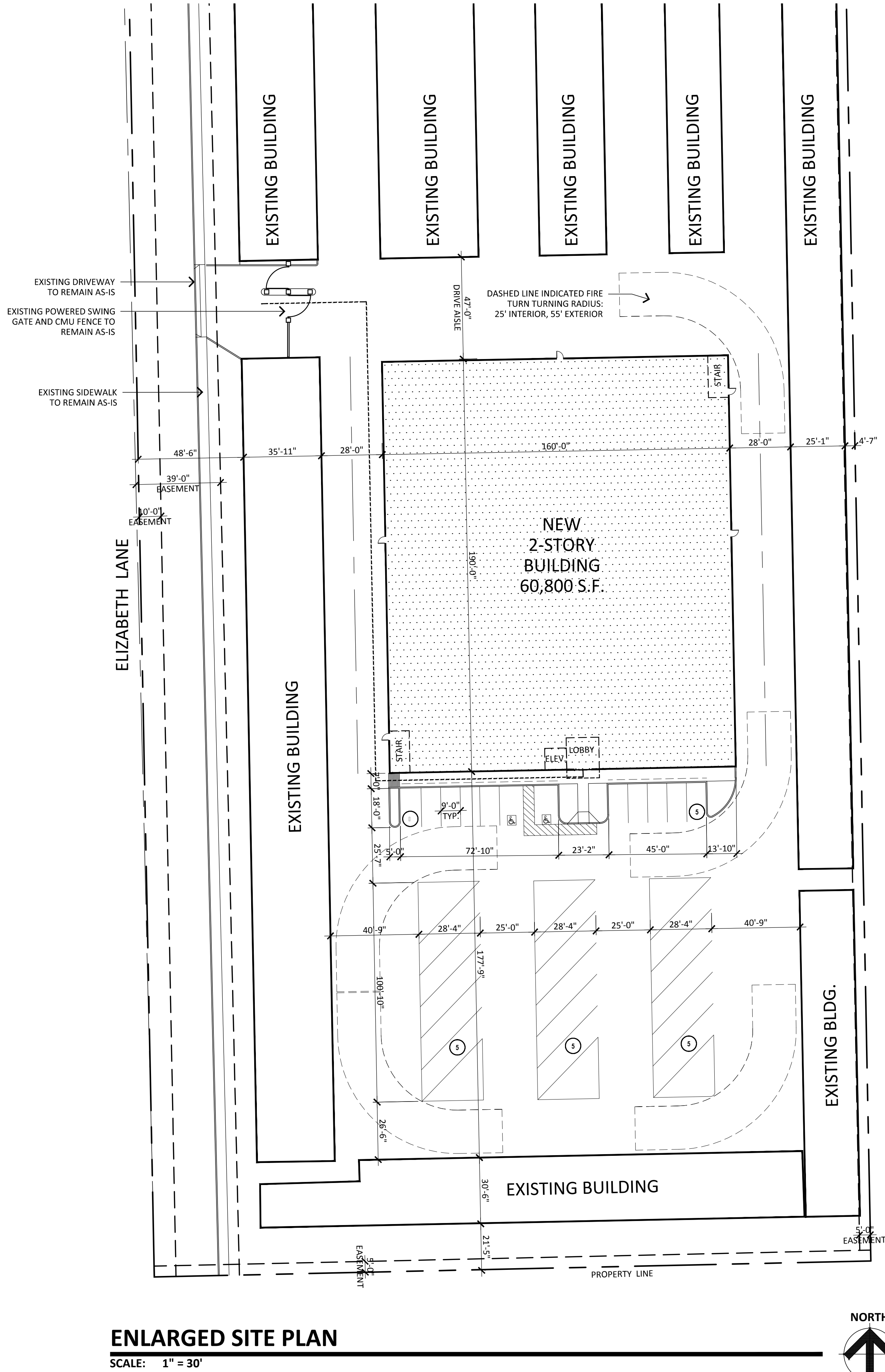
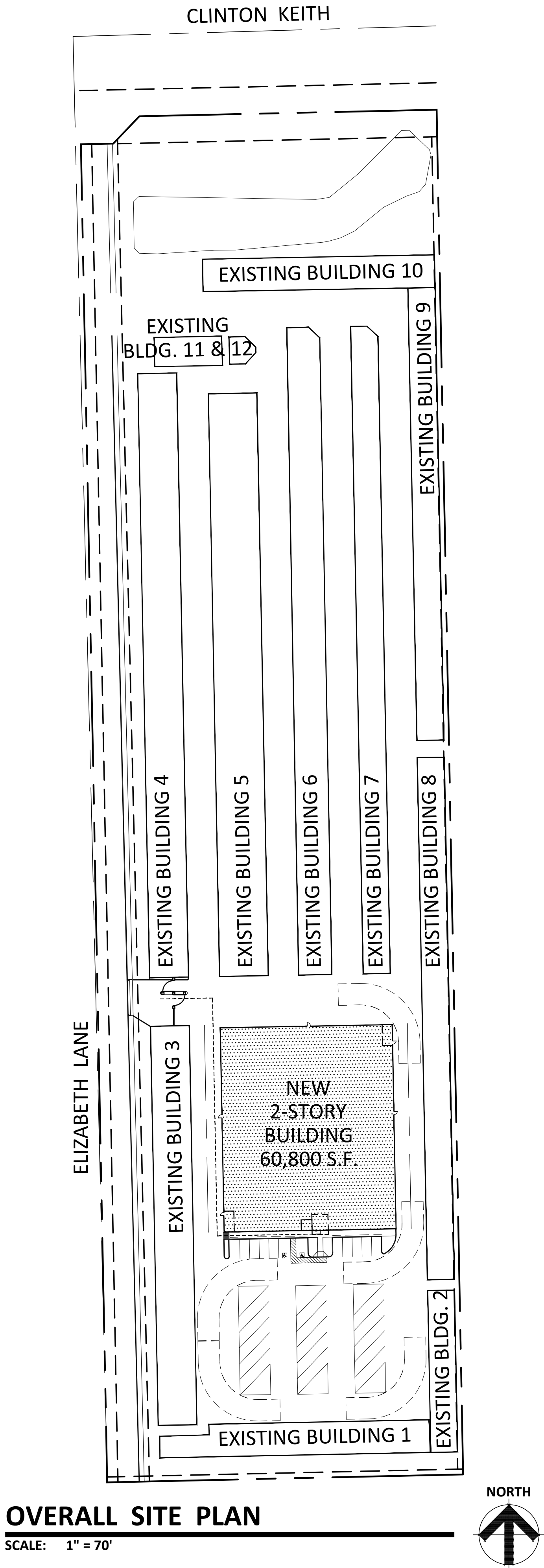




LIFE STORAGE - WILDOMAR

24781 CLINTON KEITH ROAD

WILDOMAR, CA 92595

DATE: 6-15-2017 (PRELIMINARY)

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SP-1

RKAA# 16211.00

PROJECT DIRECTORY

OWNER: LIFE STORAGE | FORMERLY UNCLE BOB'S STORAGE
6467 MAIN STREET
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PHONE: (832) 286-8071
FAX: (716) 568-8227
CONTACT: ROBERT MCGREGOR
EMAIL: rmcgregor@lifestorage.com

ARCHITECT: R K A A ARCHITECTS
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FAX: (602) 955-0496
CONTACT: CAIN GARCIA
EMAIL: cgarcia@rkaa.com

PROJECT DESCRIPTION

NEW GROUND-UP, 2-STORY 60,800 SQUARE FOOT SELF STORAGE BUILDING TO INCLUDE NEW MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS. SITE WORK INCLUDES NEW PARKING AREA, RESTRIPIING RV/BOAT SURFACE STORAGE.

PROJECT LOCATED IN A HIGH FIRE HAZARD LOCATION.

LEGAL DESCRIPTION

LOT 1 OF RECORD OF SURVEY OF GOVERNMENT LOTS 1, 8 AND 10 OF FRACTIONAL SECTION 6, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF WILDOMAR, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 121, PAGE 62 OF RECORDS OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROJECT DATA

EXISTING ZONING:	M-SC
USE/OCCUPANCY:	S-1: STORAGE
CONSTRUCTION TYPE:	VB
NET SITE AREA:	9.56 ACRES (416,434 S.F.)
LOT NUMBER:	LOT 1 RS 025/062
APN:	380-290-030-1

PROPOSED AREAS:	1ST FLOOR	30,400 S.F. (FOOTPRINT)
	2ND FLOOR	30,400 S.F.
		60800 S.F.

PROPOSED USE: SELF-STORAGE

ALLOWABLE BUILDING HEIGHT: MAX HEIGHT 55'
PROPOSED BUILDING HEIGHT: MAX HEIGHT 30'-0"

<u>BUILDING AREAS:</u>			
BUILDING #1:	7,101 S.F.	BUILDING #7:	15,011 S.F.
BUILDING #2:	3,338 S.F.	BUILDING #8:	12,133 S.F.
BUILDING #3:	13,268 S.F.	BUILDING #9:	10,541 S.F.
BUILDING #4:	20,206 S.F.	BUILDING #10:	6,485 S.F.
BUILDING #5:	24,348 S.F.	BUILDING #11:	1,698 S.F.
BUILDING #6:	18,287 S.F.	BUILDING #12:	521 S.F.
		NEW BUILDING:	30,400 S.F.

TOTAL BUILDING AREA:	163,337 S.F.
SITE COVERAGE:	0.39%

FIRE SPRINKLER SYSTEM	YES	(DEFERRED SUBMITTAL)
FIRE ALARM SYSTEM	YES	(DEFERRED SUBMITTAL)

PARKING CALCULATIONS:

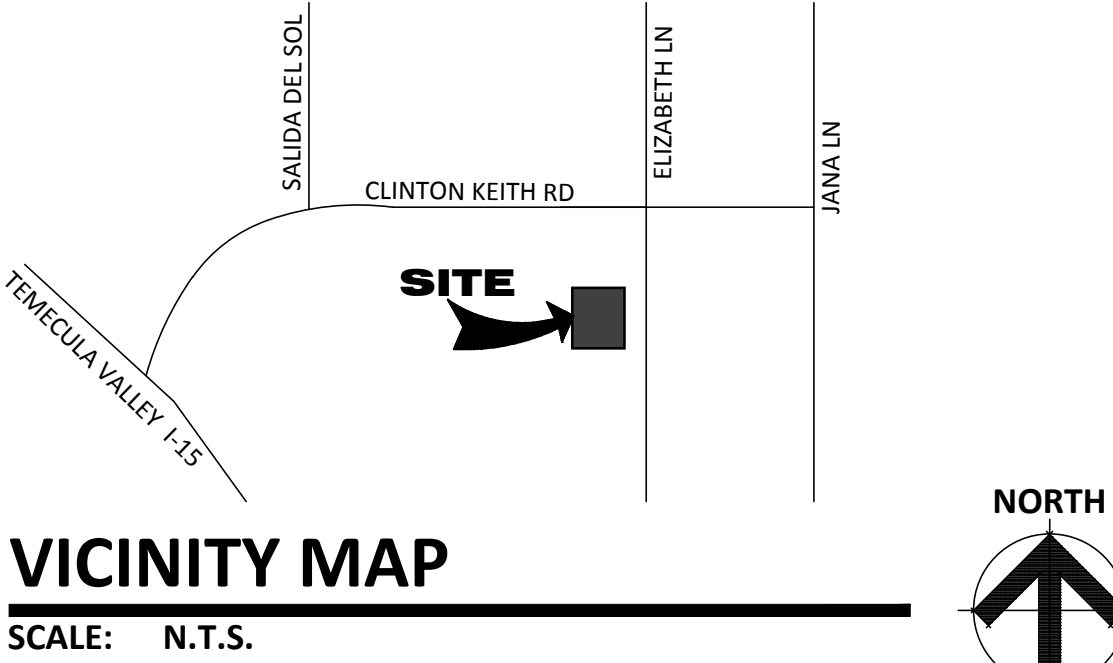
STALLS REQUIRED: 2 SPACES/3 EMPLOYEES

STALLS PROVIDED: 17 SPACES (INCLUDES 3 ADA STALLS)

RV STORAGE PROVIDED: 15 RV STORAGE STALLS

UTILITY COMPANIES

SCHOOL DISTRICT:	LAKE ELSINORE UNIFIED SCHOOL DISTRICT 1-951-253-7000
WATER & SEWER:	ELSINORE VALLEY MUNICIPAL WATER DISTRICT 1-951-674-3175
GAS:	THE GAS COMPANY 1-800-427-2000
ELECTRICITY	SOUTHERN CALIFORNIA (EDISON) 1-800-655-4555
TELEPHONE:	VERIZON 1-800-483-5000
CABLE TV:	TIME WARNER 1-888-255-5789
	VERIZON 1-951-672-4583
	VERIZON FIOS



RKAA
ARCHITECTS, INC

PRELIMINARY GRADING/DRAINAGE PLAN

GENERAL GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE AND CITY ORDINANCES.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- ALL WALLS (RETAINING AND NON-RETAINING) ARE APPROVED PER SEPARATE PLAN AND PERMIT.
- ALL WORK UNDER THIS GRADING PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE CITY RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND AN ENCROACHMENT PERMIT.
- GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY DATED
- COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5. PROJECTS WITHOUT PRELIMINARY SOILS REPORT SHALL HAVE DETAILED SPECIFICATIONS SATISFYING THE REQUIREMENTS IN SECTION 1803.5 PREPARED BY THE EOR.
- THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO DAYS BEFORE DIGGING AT 1-800-227-2600.
- MAXIMUM CUT AND FILL SLOPE 2:1.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFTS (6-INCH MAX OR AS RECOMMENDED IN SOILS REPORT), COMPACTED AND TESTED AS GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5 TO 1 (H/V) AND A HEIGHT GREATER THAN 5 FEET SHALL BE KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE 10 FEET WIDE MIN.
- THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT, OR SLOPES STEEPER THAN 2:1 MUST BE VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
- NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN 10 FEET TO THE FINISHED GRADE.
- DRAINAGE ACROSS THE PROPERTY LINE SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY.
- PROVIDE A SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARDS THE CUT SLOPE.
- PROVIDE 5' WIDE BY 1' HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1.
- THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY WITH 5% MIN FOR A MIN DISTANCE OF 10 HORIZONTAL FEET. SWALES WITHIN 10 FEET FROM BUILDING SHALL HAVE 2% MINIMUM SLOPE.
- NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FOR SLOPES 3 TO 1 (H/V) OR STEEPER:
ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT, ARE REQUIRED TO BE PLANTED WITH GRASS OR ROSEA ICE PLANT (OR EQUAL) GROUND COVER AT A MAXIMUM SPACING OF 12' ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10', OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C., CHAPTER 10. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PRECISE GRADING FINAL.

NPDES:

- CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMPs) FOR THE MANAGEMENT OF STORM WATER AND NON-STORMWATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP AND/OR THE EROSION/SEDIMENT CONTROL PLAN ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF SITE BMPs IS REQUIRED TO MINIMIZE JOBSITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
- EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREAS EXPOSED TO THE EXTENT FEASIBLE.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 14 DAYS. ALL SLOPES SHALL BE STABILIZED PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT, THE STATEWIDE GENERAL PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT THE CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

STORM DRAIN NOTES:

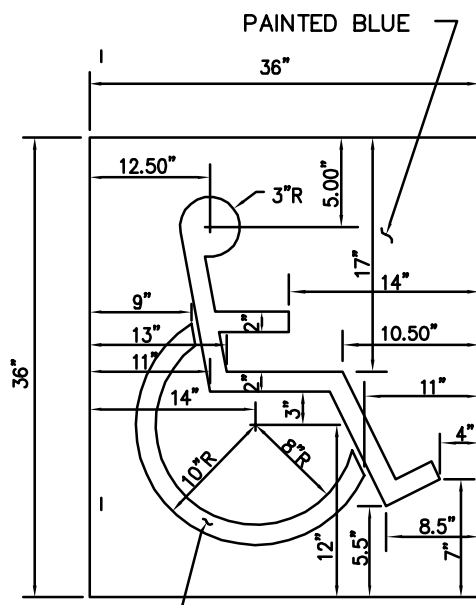
- THE PROPOSED STORM DRAIN SYSTEM WILL BE TIED INTO THE EXISTING STORM DRAIN SYSTEM ON-SITE.
- ON-SITE STORM DRAIN CATCH BASINS WILL INCLUDE FILTER DEVICES TO PROVIDE CLARIFICATION OF THE STORM WATER PRIOR TO ENTERING THE EXISTING STORM DRAIN SYSTEM.

EARTHWORK:

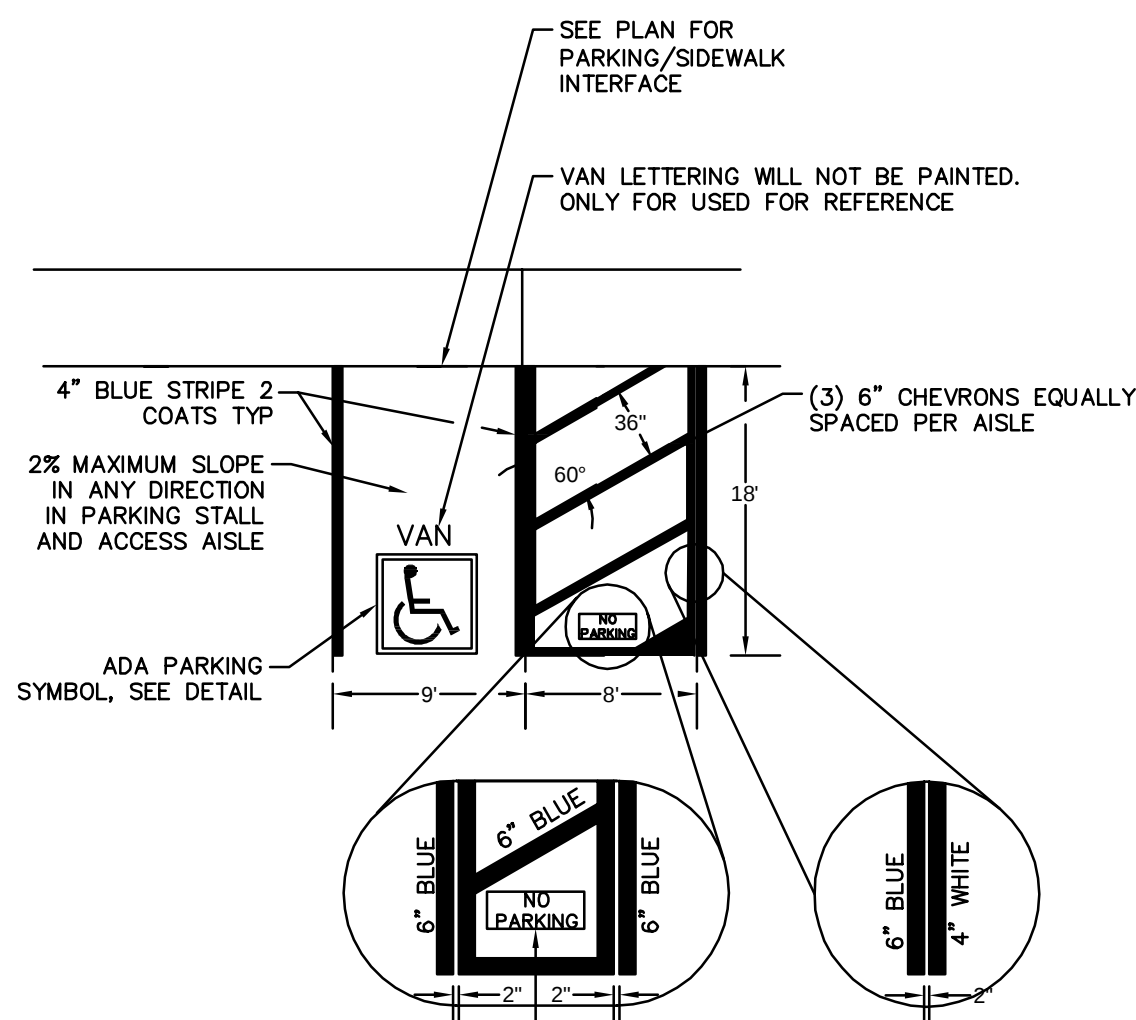
ASSUMPTIONS:

- 1' OF REMOVAL AND RECOMPACTION FOR HARDSCAPE AROUND PROPOSED BUILDING.
- OVER-EXCAVATION LIMITS 5' FROM PROPOSED BUILDING WITH 3' OF REMOVAL AND RECOMPACTION.

SUMMARY OF EARTHWORK QUANTITIES		
ITEM	CUT/CUBIC YDS.	FILL/CUBIC YDS.
1. PURE VOLUME (RAW)	74	2873
2. SUBSIDENCE LOSS - 0.15' 75,702 x .15/27		421
3. OVEREXCAVATION - PADS 34,000 x .3/27	3,778	3,778
OVEREXCAVATION - PAVED AREAS 41,702 x .3/27		
4. 1.0' OVEREX	1,545	1,545
5. SUBTOTALS	5,397	8,617
6. SHRINKAGE @ 10% (8,617 x .90) = 8,617		957
7. TOTALS	5,397	9,574
8. IMPORT	-	4,177



ADA LOGO STRIPING DETAIL
LOCATED AT EDGE OF PARKING SPACE
(PER CBC SECTION 1129B.4)



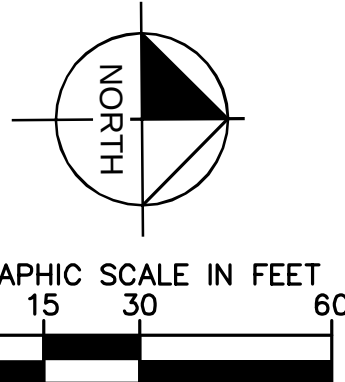
THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH LOADING AND UNLOADING ACCESS AISLE. THIS NOTICE SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 12 INCHES HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.

GRADING NOTES:

- AN EXISTING GEOTECHNICAL REPORT WAS NOT AVAILABLE AT THE TIME OF PRELIMINARY DESIGN.
- REMOVE EXISTING CONCRETE PAVING OVER EXCAVATION PER SOILS REPORT.
- ALL GRADING SHOWN IS PRELIMINARY AND SUBJECT ON FINAL DESIGN.
- NO ADDITIONAL IMPERVIOUS AREA ADDED.

PRELIMINARY CONSTRUCTION NOTES:

- 6" CONCRETE CROSS-GUTTER
- LIMITS OF REMOVAL OF EXISTING CONCRETE PAVING
- DRAINAGE INLET
- 12" STORM DRAIN PIPE



LEGEND:

- GRADE BREAK
- LIMITS OF DISTURBANCE
- PROPERTY LINE
- PROPOSED 6" CURB
- PROPOSED CONCRETE GUTTER
- PROPOSED PAVEMENT MARKINGS
- 12" SD PROPOSED STORM DRAIN
- STEM WALL
- PROPOSED SLOPE
- PROPOSED INLET
- EXISTING INLET
- PROPOSED CONCRETE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- TG TOP OF GRATE
- FL FLOWLINE
- GB GRADE BREAK
- LG LP OF GUTTER
- LP LOW POINT
- HP HIGH POINT

APN: 380-290-004

APN: 380-290-003

Kimley»Horn

21820 BURBANK BLVD., SUITE 230
WOODLAND HILLS, CA 91367
PHONE: 747-900-8400
WWW.KIMLEY-HORN.COM

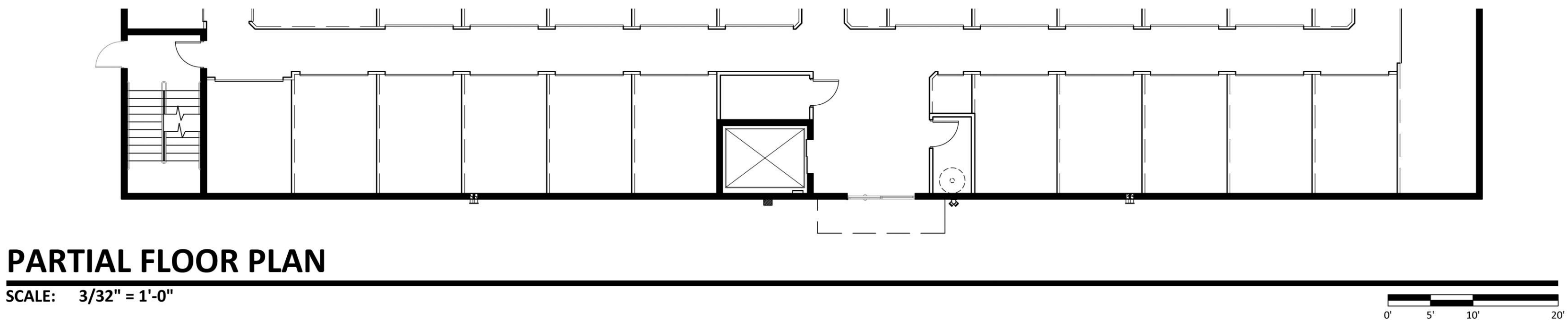
LIFE STORAGE-WILDOMAR

24781 CLINTON KEITH ROAD
WILDOMAR, CALIFORNIA 92595
PRE-APPLICATION (6-15-2017)

JOB NO. 099615001

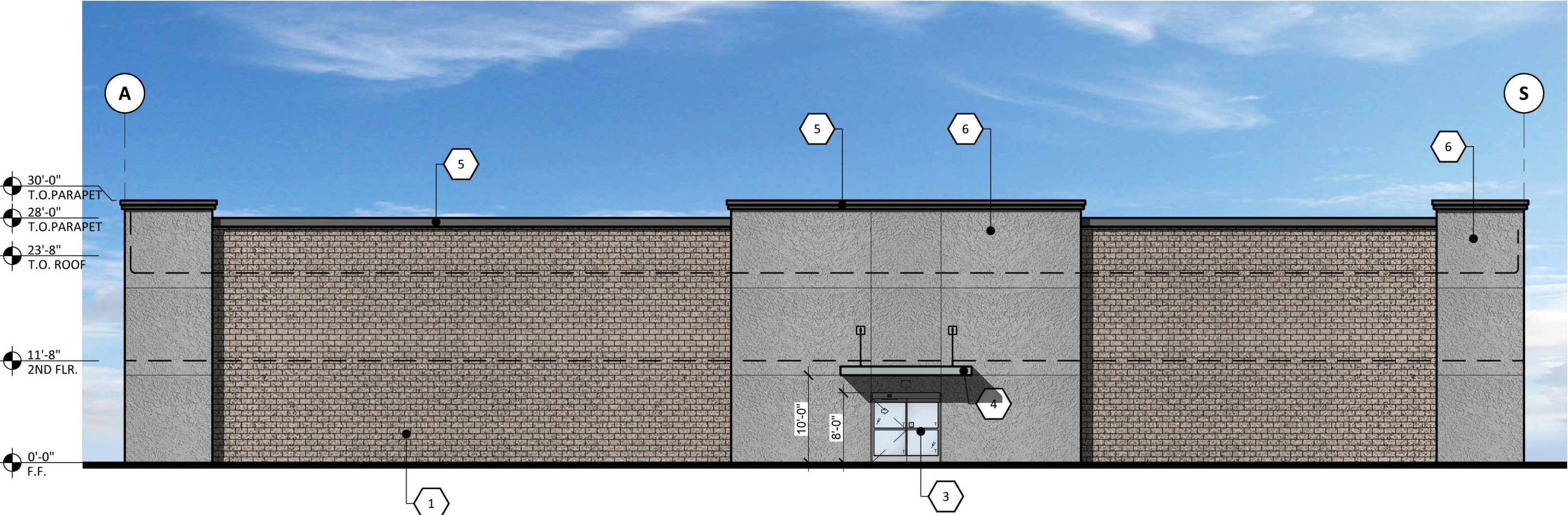
SHEET

1 of 1



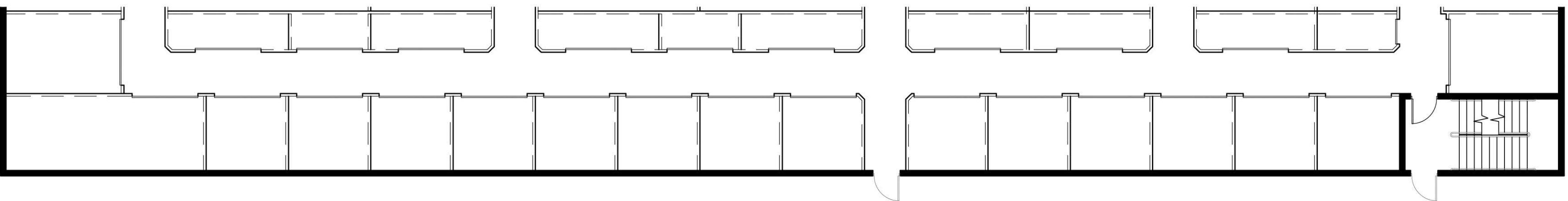
PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



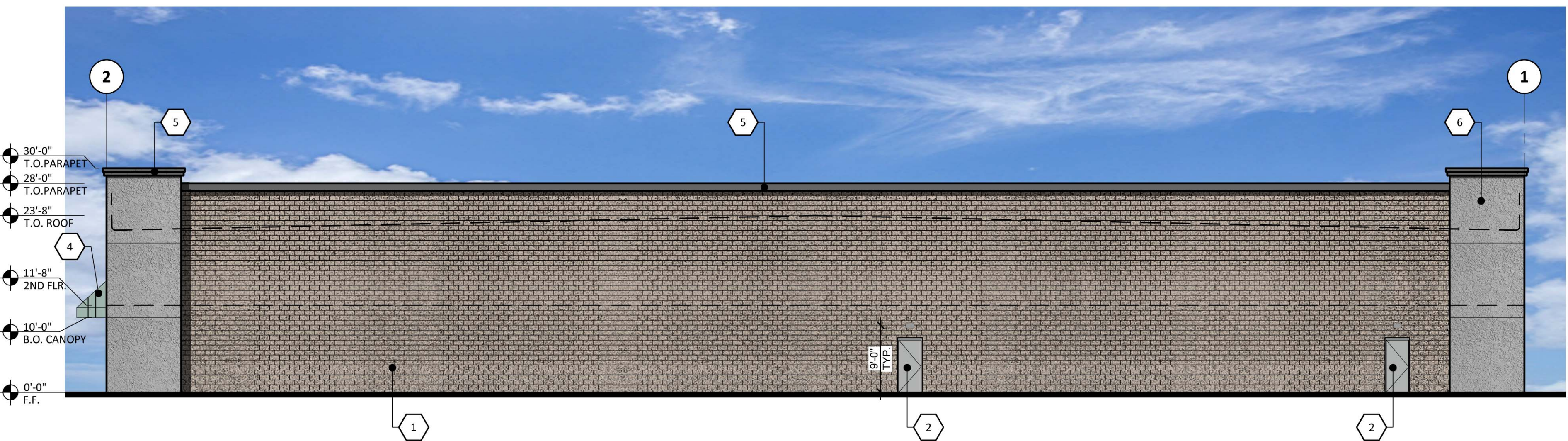
SOUTH ELEVATION (FRONT)

SCALE: 3/32" = 1'-0"



PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"

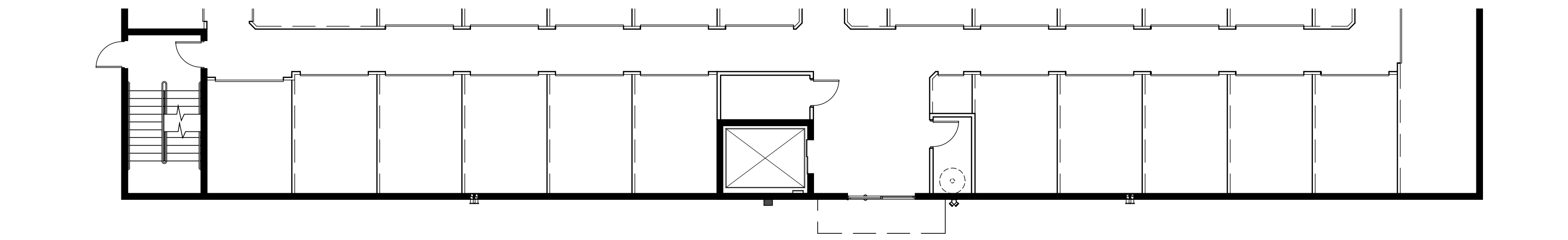


EAST ELEVATION (SIDE)

SCALE: 3/32" = 1'-0"

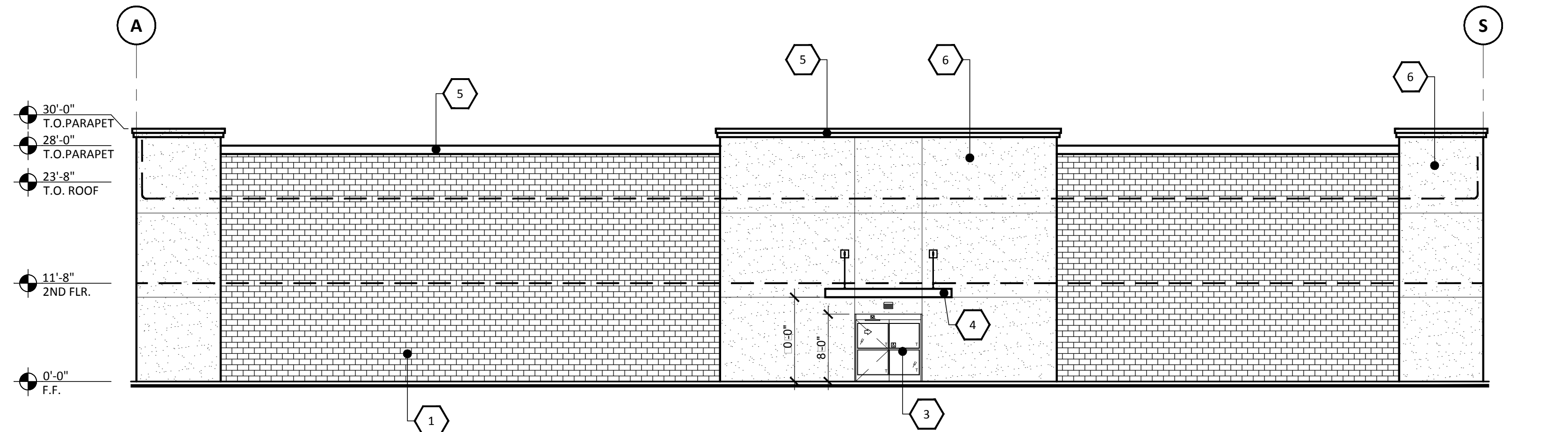
ELEVATION MATERIAL

- 1 8"x8"x16" CMU BLOCK:
MANUFACTURER: SUPERLITE BLOCK, INC.
FINISH: SMOOTH FACE
COLOR: GRAY
- 2 STUCCO PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: COVERED IN PLATINUM
SPECIFY#: DE6367
LRV: 46
- 3 STOREFRONT:
MATERIAL: ALUMINUM
FINISH: CLEAR ANODIZED
- 4 METAL PANEL:
MANUFACTURER: FIRESTONE
COLOR: CITYSCAPE
- 5 CORNICE PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: BOAT ANCHOR
SPECIFY#: DE6377
LRV: 14
- 6 STUCCO PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: COVERED IN PLATINUM
SPECIFY#: DE6367
LRV: 46



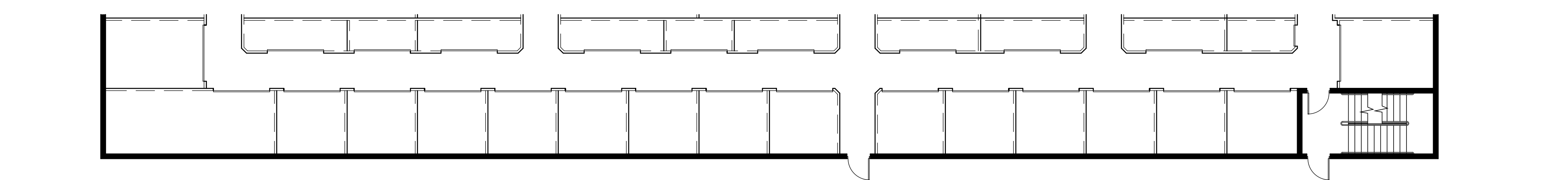
PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



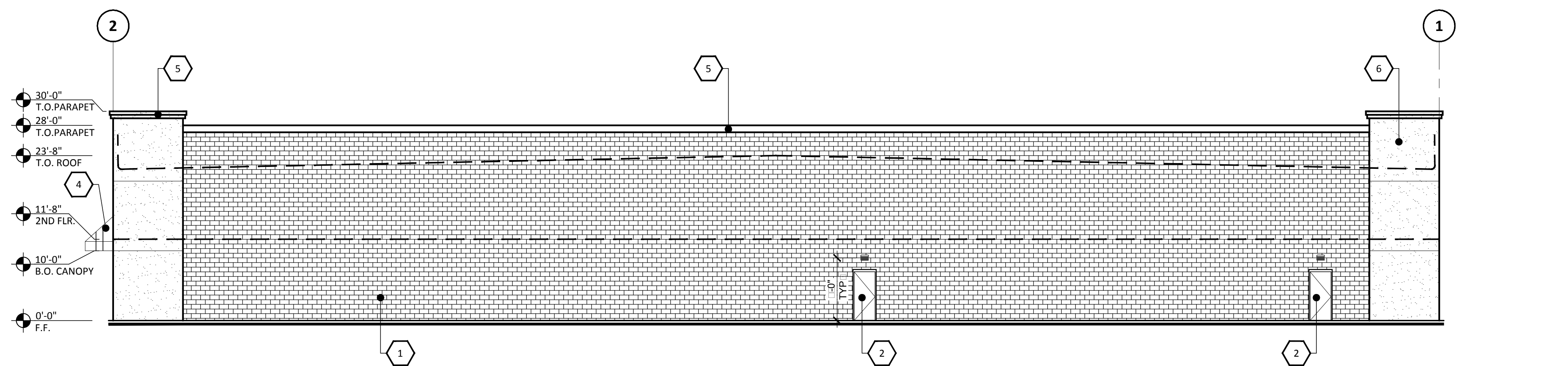
SOUTH ELEVATION (FRONT)

SCALE: 3/32" = 1'-0"



PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



EAST ELEVATION (SIDE)

SCALE: 3/32" = 1'-0"

ELEVATION MATERIAL

1	8"x8"x16" CMU BLOCK: MANUFACTURER: SUPERLITE BLOCK, INC. FINISH: SMOOTH FACE COLOR: GRAY
2	STUCCO PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: COVERED IN PLATINUM SPECIFY#: DE6367 LRV: 46
3	STOREFRONT: MATERIAL: ALUMINUM FINISH: CLEAR ANODIZED
4	METAL PANEL: MANUFACTURER: FIRESTONE COLOR: CITYSCAPE
5	CORNICE PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: BOAT ANCHOR SPECIFY#: DE6377 LRV: 14
6	STUCCO PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: COVERED IN PLATINUM SPECIFY#: DE6367 LRV: 46

LIFE STORAGE - WILDOMAR

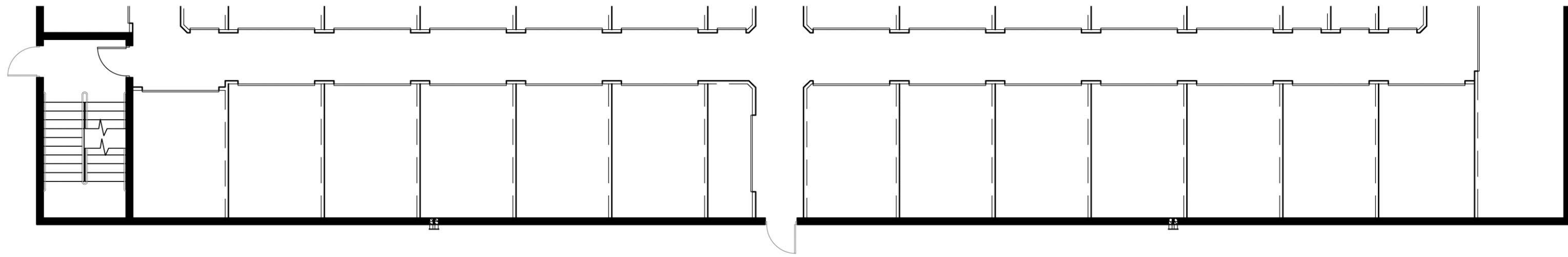
24781 CLINTON KEITH ROAD
WILDOMAR, CALIFORNIA 92595
DATE: 6-15-2017 (PRELIMINARY)

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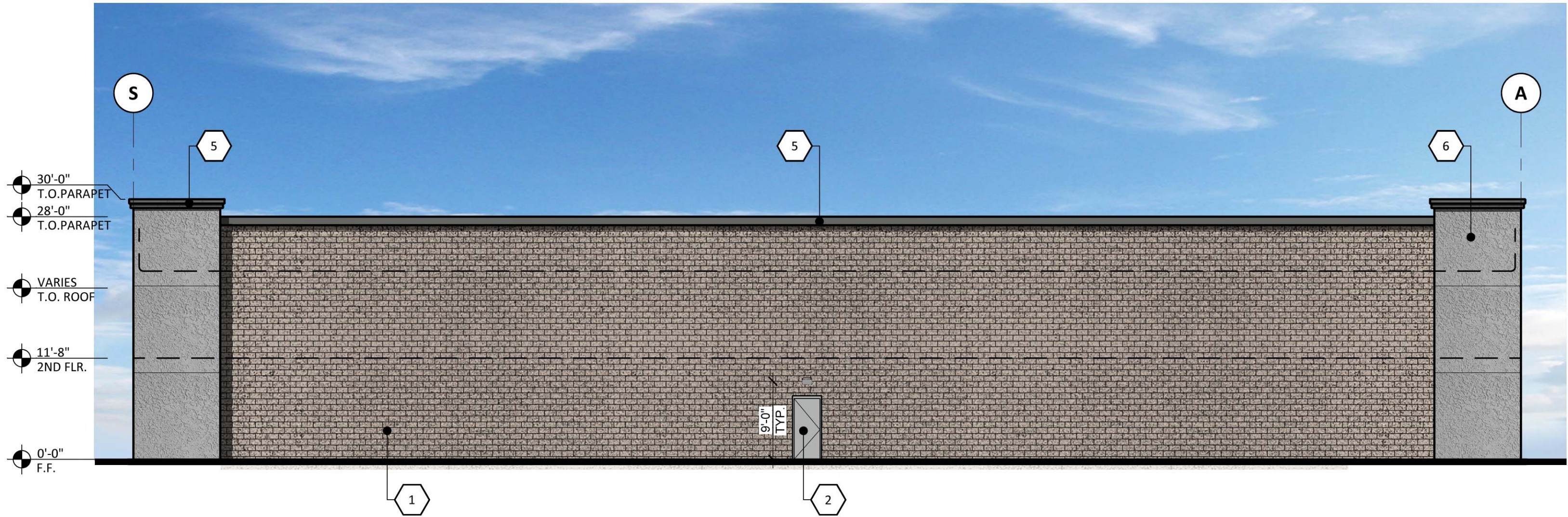
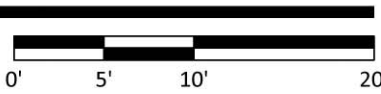
RKAA# 16211.00





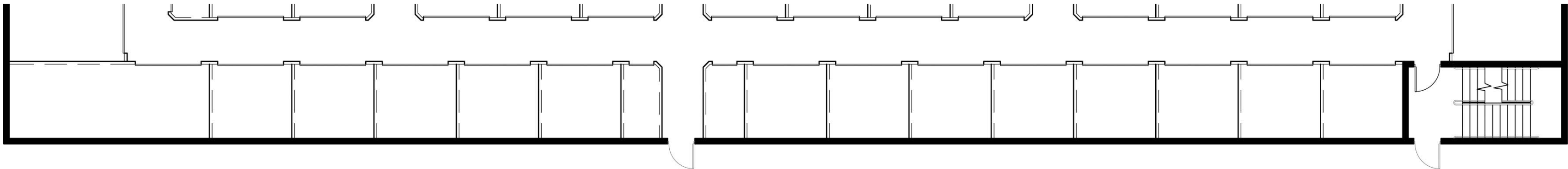
PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



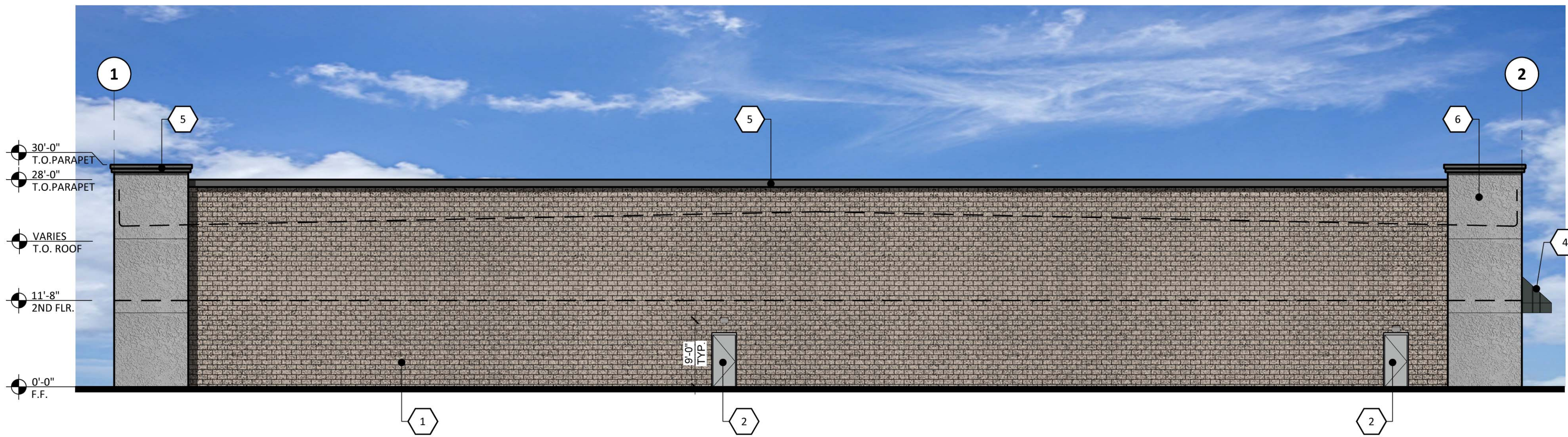
NORTH ELEVATION (REAR)

SCALE: 3/32" = 1'-0"



PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



WEST ELEVATION (SIDE)

SCALE: 3/32" = 1'-0"



ELEVATION MATERIAL

- 1

8"x8"x16" CMU BLOCK:
MANUFACTURER: SUPERLITE BLOCK, INC.
FINISH: SMOOTH FACE
COLOR: GRAY
- 2

STUCCO PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: COVERED IN PLATINUM
SPECIFY#: DE6367
LRV: 46
- 3

STOREFRONT:
MATERIAL: ALUMINUM
FINISH: CLEAR ANODIZED
- 4

METAL PANEL:
MANUFACTURER: FIRESTONE
COLOR: CITYSCAPE
- 5

CORNICE PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: BOAT ANCHOR
SPECIFY#: DE6377
LRV: 14
- 6

STUCCO PAINT COLOR TO MATCH:
MANUFACTURER: DUNN EDWARDS
FINISH: FLAT FINISH
COLOR: COVERED IN PLATINUM
SPECIFY#: DE6367
LRV: 46

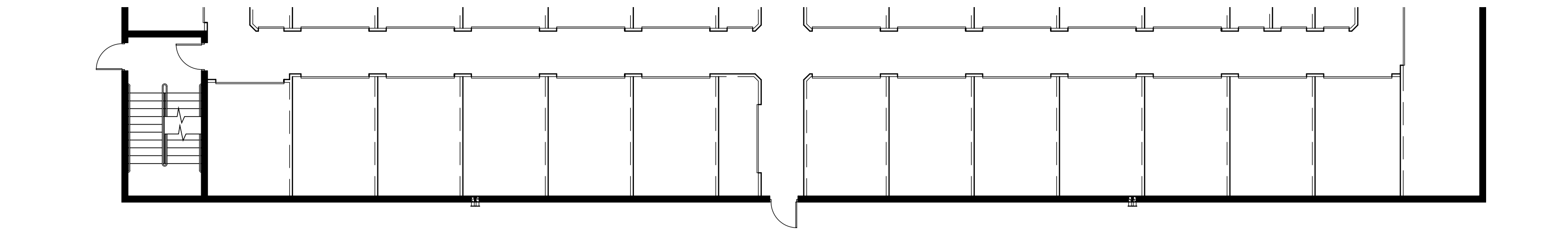
LIFE STORAGE - WILDOMAR
24781 CLINTON KEITH ROAD
WILDOMAR, CALIFORNIA 92595
DATE: 6-15-2017 (PRELIMINARY)

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EL-2

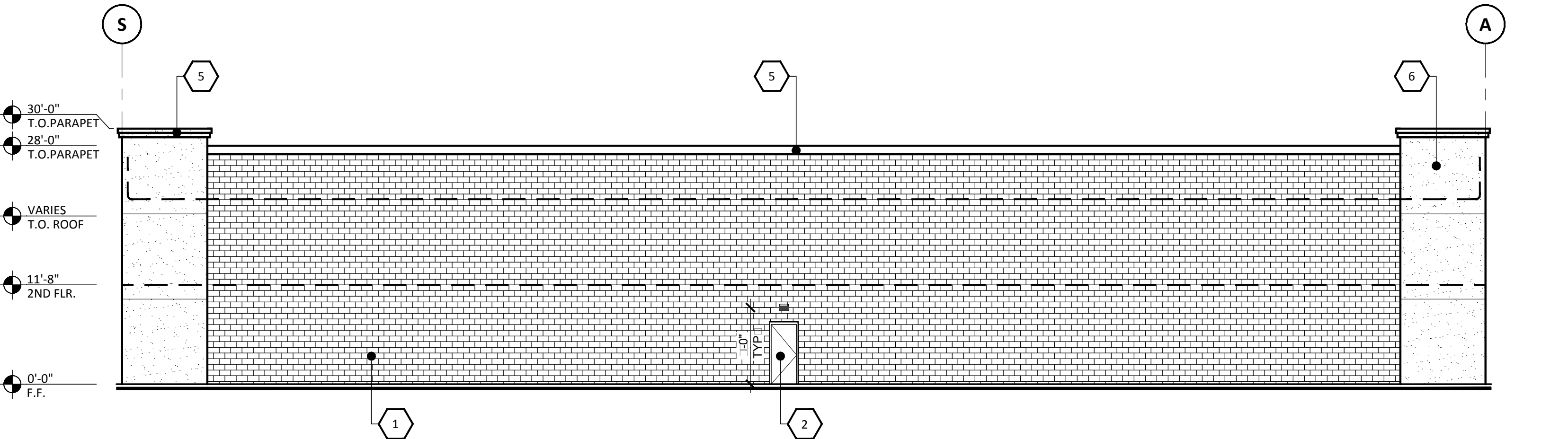
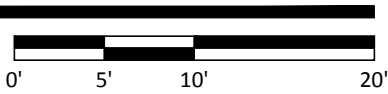
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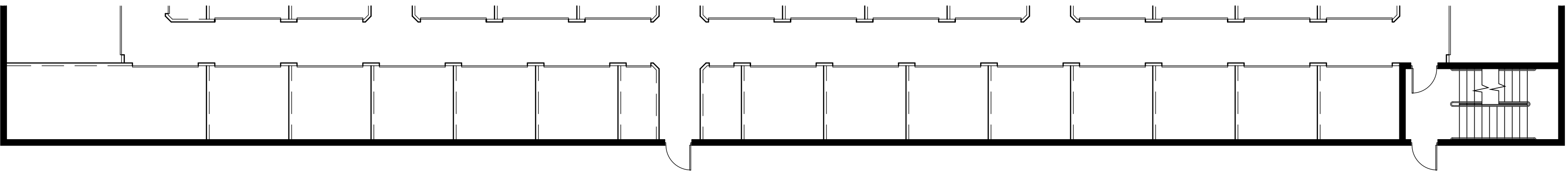
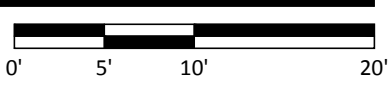
PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



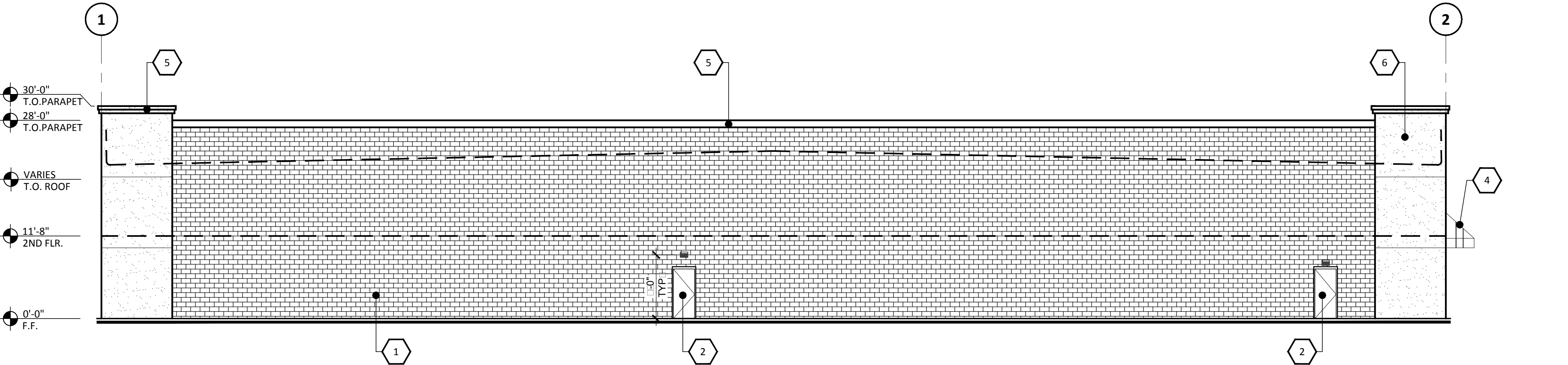
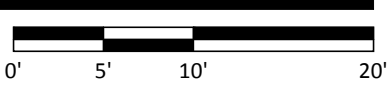
NORTH ELEVATION (REAR)

SCALE: 3/32" = 1'-0"



PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



WEST ELEVATION (SIDE)

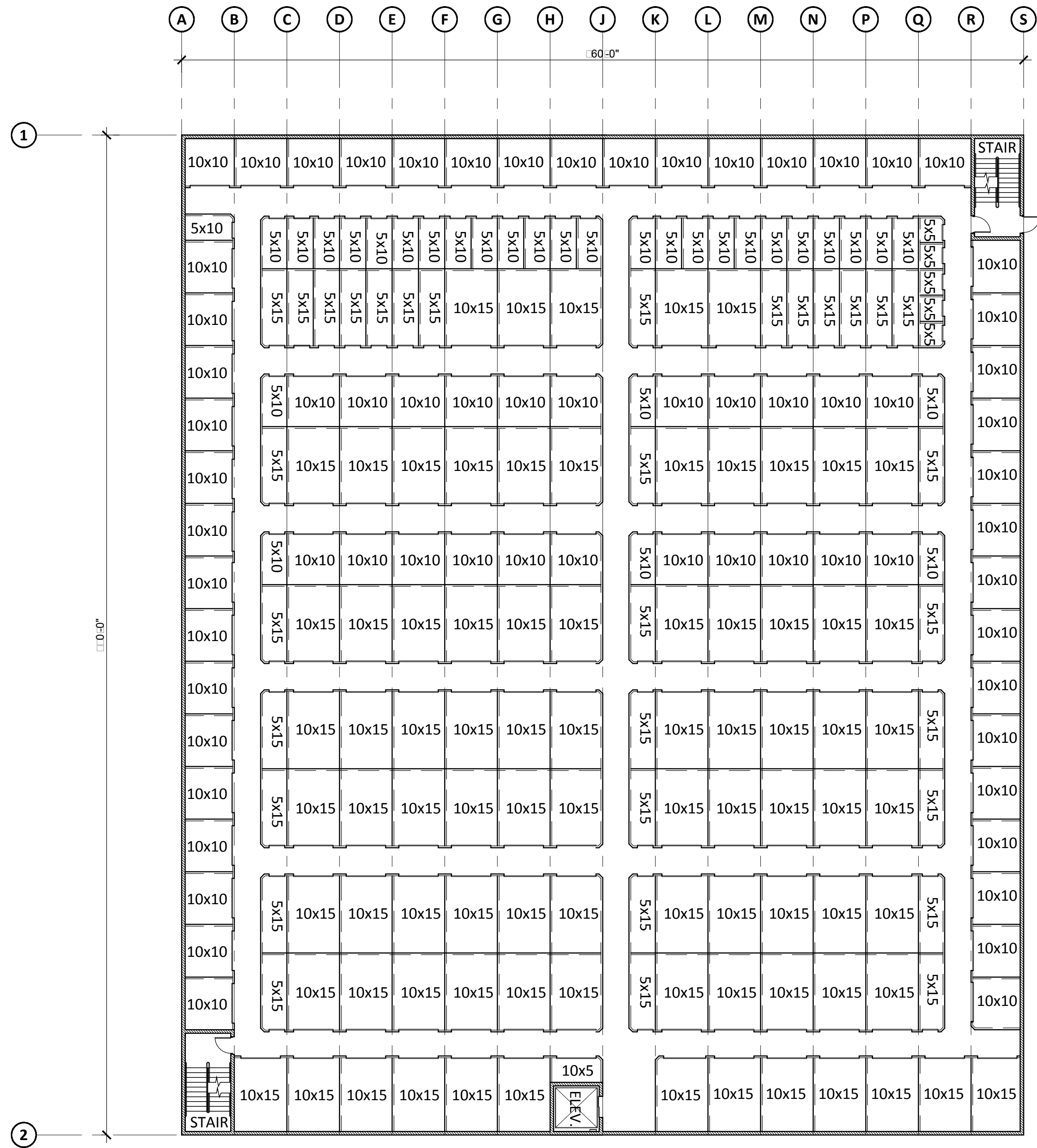
SCALE: 3/32" = 1'-0"



ELEVATION MATERIAL

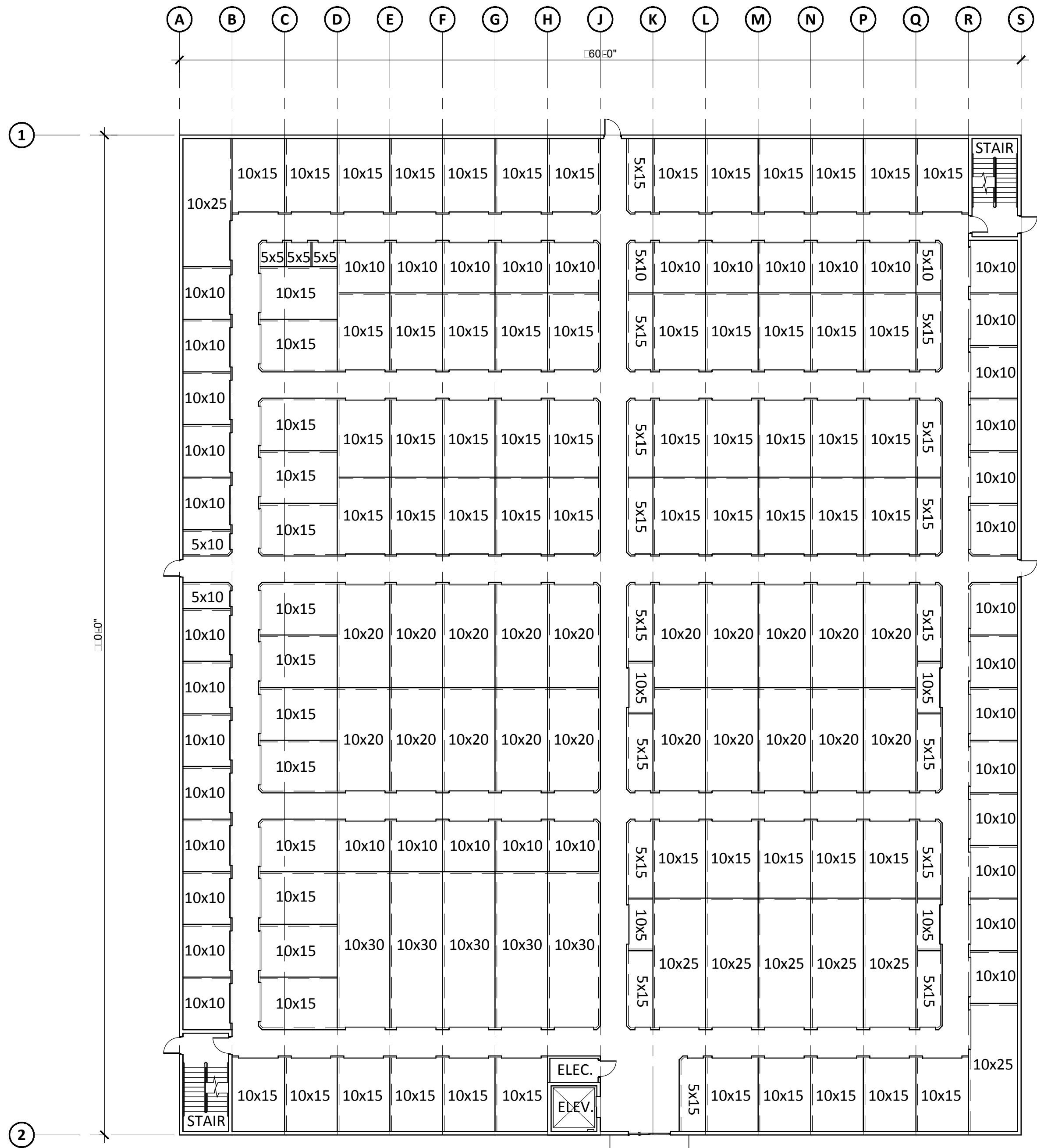
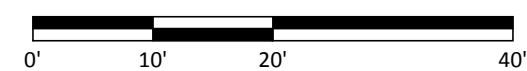
1	8"x8"x16" CMU BLOCK: MANUFACTURER: SUPERLITE BLOCK, INC. FINISH: SMOOTH FACE COLOR: GRAY
2	STUCCO PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: COVERED IN PLATINUM SPECIFY#: DE6367 LRV: 46
3	STOREFRONT: MATERIAL: ALUMINUM FINISH: CLEAR ANODIZED
4	METAL PANEL: MANUFACTURER: FIRESTONE COLOR: CITYSCAPE
5	CORNICE PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: BOAT ANCHOR SPECIFY#: DE6377 LRV: 14
6	STUCCO PAINT COLOR TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: FLAT FINISH COLOR: COVERED IN PLATINUM SPECIFY#: DE6367 LRV: 46

TOTAL BUILDING AREA		
G.S.F. = 60,800 S.F.		
L.S.F. = 47,350 S.F.		
AVERAGE UNIT 120 SF		
UNIT MIX SUMMARY		
TOTAL	393	47,350 S.F.
FIRST FLOOR AREA		
30,400 G.S.F		
23,925 L.S.F		
78.7%		
CLIMATE CONTROLLED UNIT SUMMARY		
UNIT SIZE	COUNT	UNIT S.F.
5x5	3	75
5x10	4	200
5x15	16	1200
10x5	4	200
10x10	42	4200
10x15	72	10800
10x20	20	4000
10x25	7	1750
10x30	5	1500
TOTAL	173	23925
SECOND FLOOR AREA		
30,400 G.S.F		
23,425 L.S.F		
77%		
CLIMATE CONTROLLED UNIT SUMMARY		
UNIT SIZE	COUNT	UNIT S.F.
5x5	5	125
5x10	31	1550
5x15	32	2400
10x5	1	50
10x10	67	6700
10x15	84	12600
TOTAL	220	23425



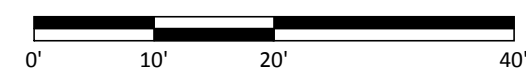
SECOND LEVEL - FLOOR PLAN

SCALE: 1/16" = 1'-0"



FIRST LEVEL - FLOOR PLAN

SCALE: 1/16" = 1'-0"



LIFE STORAGE - WILDOMAR

24781 CLINTON KEITH ROAD

WILDOMAR, CA 92595

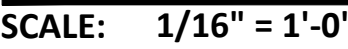
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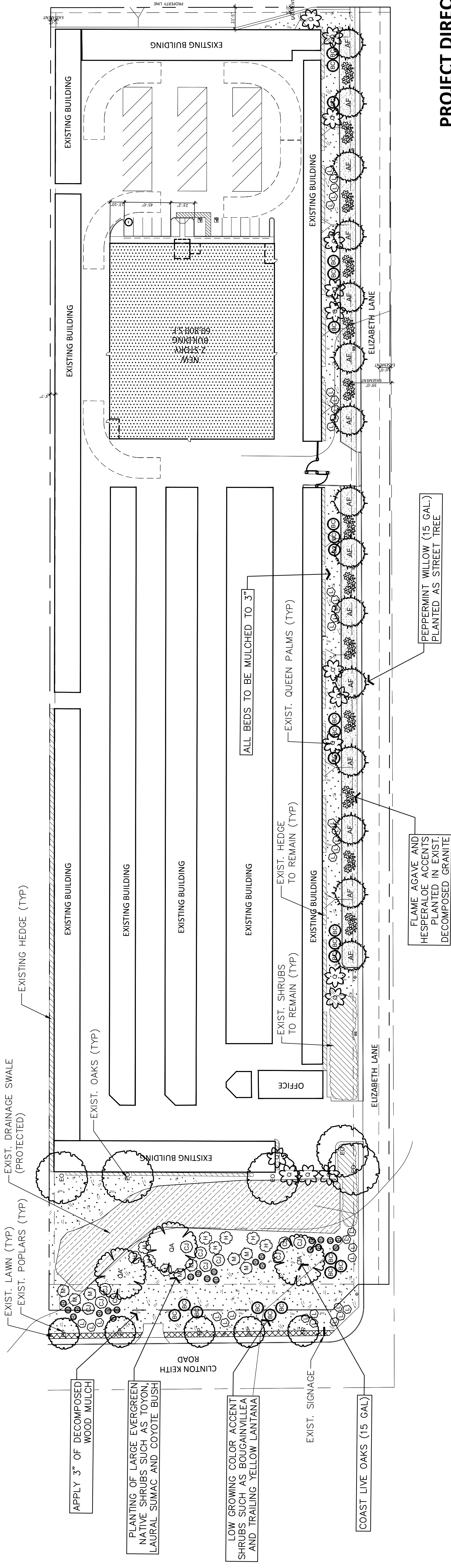




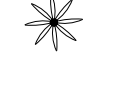
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PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT.	QTY.
	AF	Agonis flexuosa / Peppermint Tree	15 gal	15
	E0	Existing Coast Live Oak / Coast Live Oak Tree	Existing	5
	EP	Existing Poplar / Poplar Tree	Existing	5
	Q	Existing Queen Palm / Queen Palm	Existing	15
	QA	Quercus agrifolia / Coast Live Oak Multi-Trunk	15 gal	3
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT.	QTY.
	A	Agave x 'Blue Flame' / Blue Flame Agave	5 gal	39
	B	Baccharis pilularis 'Pigeon Point' / Coyote Brush	1 gal	23
	BC	Bougainvillea x 'Crimson Jewel' TM / Crimson Jewel Bougainvillea	5 gal	24
	CJ	Ceanothus x 'Joyce Coulter' / Ceanothus Joyce Coulter	1 gal	11
	HP	Hesperaloe parviflora / Red Yucca	1 gal	78
	H	Heteromeles arbutifolia / Toyon	5 gal	8
	L	Lantana montevidensis 'Gold Mound' / Trailing Lantana	5 gal	37
	M	Malosma laurina / Laurel Sumac	1 gal	9

ALL PLANT MATERIAL SELECTED ARE LISTED AS LOW WATER REQUIREMENT IN WUCOLS IV LISTING.

PROJECT DIRECTORY

OWNER:	LIFE STORAGE FORMERLY UNCLE BOB'S STORAGE 1600 WOODLAKE DRIVE WILDOMAR, CA 92595 PHONE: (832) 286-8071 FAX: (716) 568-8222 CONTACT: ROBERT MCGREGOR EMAIL: rmcgregor@lifestorage.com	LANDSCAPE ARCHITECT: RCAA ARCHITECTS 2233 EAST THOMAS ROAD PHOENIX, ARIZONA 85016 PHONE: (602) 950-3300 FAX: (602) 950-3305 CONTACT: CAIN GARCIA EMAIL: cgarcia@rcaa.com	CALIFORNIA LANDSCAPE TECHNOLOGIES 970 WOODLAKE DRIVE WILDOMAR, CA 92595 PHONE: (760) 809-3241 CONTACT: STEVE SHERMAN EMAIL: cthandarch@roadrunner.com
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PROJECT DESCRIPTION

NEW GROUND-UP, 2-STORY 60,800 SQUARE FOOT SELF STORAGE BUILDING WITH 1000 CARPARKING SPACES AND MECHANICAL SYSTEMS. SITE WORK INCLUDES NEW PARKING AREA, RESTRIPIING RV/BOAT SURFACE STORAGE.

PROJECT LOCATED IN A HIGH FIRE HAZARD LOCATION.

LANDSCAPE CONCEPT

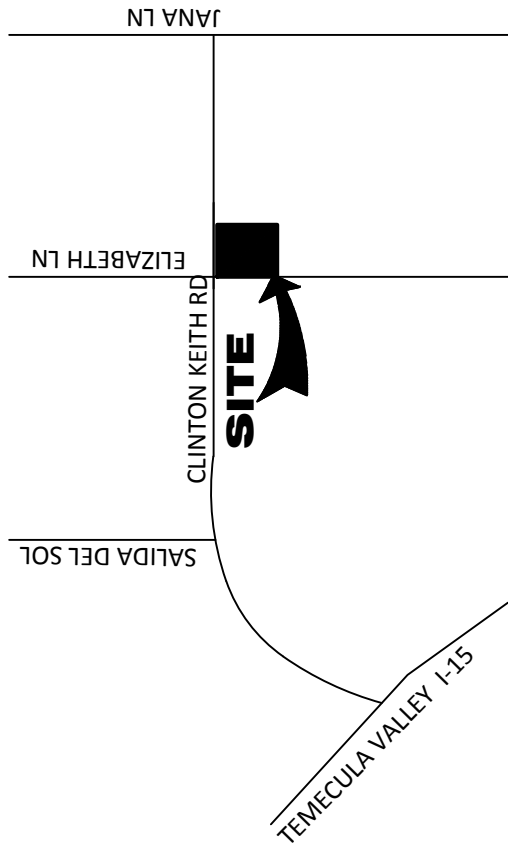
ENHANCE EXISTING PLANTING ON PROJECT WITH ATTRACTIVE LOW WATER REQUIREMENT. LOW MAINTENANCE TREES, SHRUBS AND GROUND COVERS. ALL PLANTERS SHALL BE MULCHED TO 3" WITH DECOMPOSED WOOD MULCH. ALL DG SHALL BE REFRESHED AND NO FABRIC SHALL BE VISIBLE.

ALL NEW IRRIGATION SHALL MATCH EXISTING DRIP. EXISTING LAWN SPRINKLERS SHALL BE UPGRADED WITH HIGH EFFICIENCY NOZZLES.

PROJECT LOCATED IN A HIGH FIRE HAZARD LOCATION.

UTILITY COMPANIES

WATER & SEWER:	ELSI NORE VALLEY MUNICIPAL WATER DISTRICT 1-951-674-3175
GAS:	THE GAS COMPANY 1-800-427-2000
ELECTRICITY	SOUTHERN CALIFORNIA (EDISON) 1-800-655-4555



VICINITY MAP

SCALE: N.T.S.

CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 50'

LIFE STORAGE - WILDOMAR

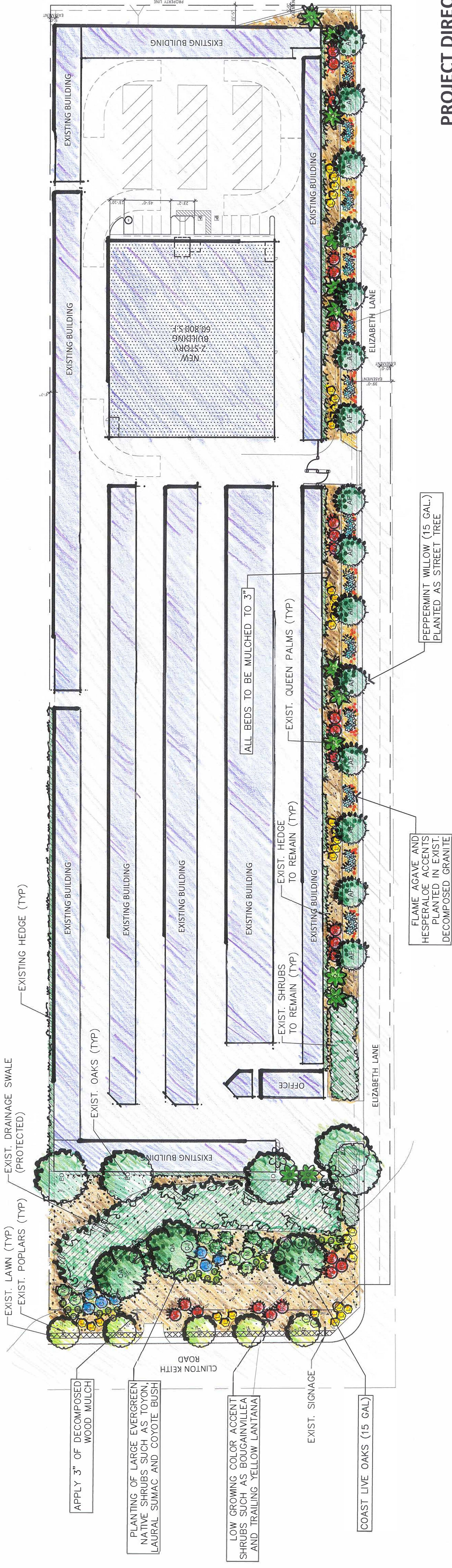
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WILDOMAR, CA 92595
DATE: 11-2-2017 (PRELIMINARY)

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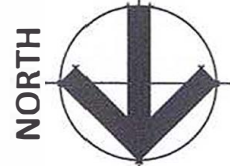
PLANT SCHEDULE

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CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 50'



LIFE STORAGE - WILDOMAR

24781 CLINTON KEITH ROAD
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DATE: 11-2-2017 (PRELIMINARY)

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PROJECT DIRECTORY

OWNER: LIFE STORAGE FORMERLY UNCLE BOB'S STORAGE 6467 MAIN STREET, SUITE 14221 WILSON, CA 95690 PHONE: (925) 586-8071 FAX: (925) 586-8071 CONTACT: ROBERT MCGREGOR EMAIL: rmcgregor@lifestorage.com	ARCHITECT: RKAA ARCHITECTS, 2233 EAST THOMAS ROAD PHOENIX, ARIZONA 85016 PHONE: (602) 955-3900 FAX: (602) 955-3496 CONTACT: CLAUDIA GARCIA EMAIL: cgarcia@rkaa.com	LANDSCAPE ARCHITECT: CALIFORNIA LANDSCAPE TECHNOLOGIES 970 WOODLAKE DRIVE CARLISLE, CALIFORNIA 92007 PHONE: (760) 809-3241 CONTACT: STEVE SHERMAN EMAIL: cttlandarch@csadrunner.com
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PROJECT DESCRIPTION

NEW GROUND-UP, 2-STORY 80,800 SQUARE FOOT SELF STORAGE BUILDING TO INCLUDE NEW MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS. THE PROJECT INCLUDES A NEW PARKING AREA, RESTIMING R/W/BOAT SURFACE STORAGE.

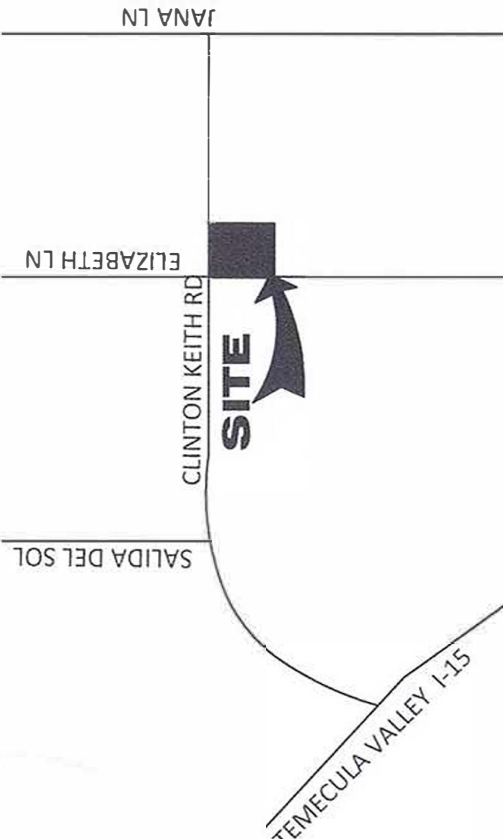
PROJECT LOCATED IN A HIGH FIRE HAZARD LOCATION.

LANDSCAPE CONCEPT

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UTILITY COMPANIES

WATER & SEWER: ELSINORE VALLEY MUNICIPAL WATER DISTRICT 1-951-674-3175	ELECTRICITY THE GAS COMPANY 1-800-427-2000 SOUTHERN CALIFORNIA (EDISON) 1-800-655-4555
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VICINITY MAP

SCALE: N.T.S.

