

FAITH BIBLE CHURCH

PROPOSED WORSHIP BUILDING AND SITE IMPROVEMENTS

Crossing of Glazebrook Rd. and Depasquale Rd.
Wildomar, CA 92595

RECIEVED
JUN 10 2019
CITY OF WILDOMAR



PLOT PLAN
06/10/2019

CONDITIONALLY APPROVED

- ☐ BY THE PLANNING DEPARTMENT
- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE PLANNING COMMISSION
- ☒ BY THE CITY COUNCIL

...FOR THE CITY OF WILDOMAR ON 7/10/19
APPLICATION NOS. PA 17-014 & 17-042
PLANNER [Signature]

VISIONEERING STUDIOS
Architecture
www.visioneeringstudios.com
2000 Main St., Suite 200
Folsom, CA 95630

CROSSING OF GLAZEBROOK RD. AND DEPASQUALE RD.
WILDOMAR, CA

FAITH BIBLE CHURCH

WORSHIP BUILDING

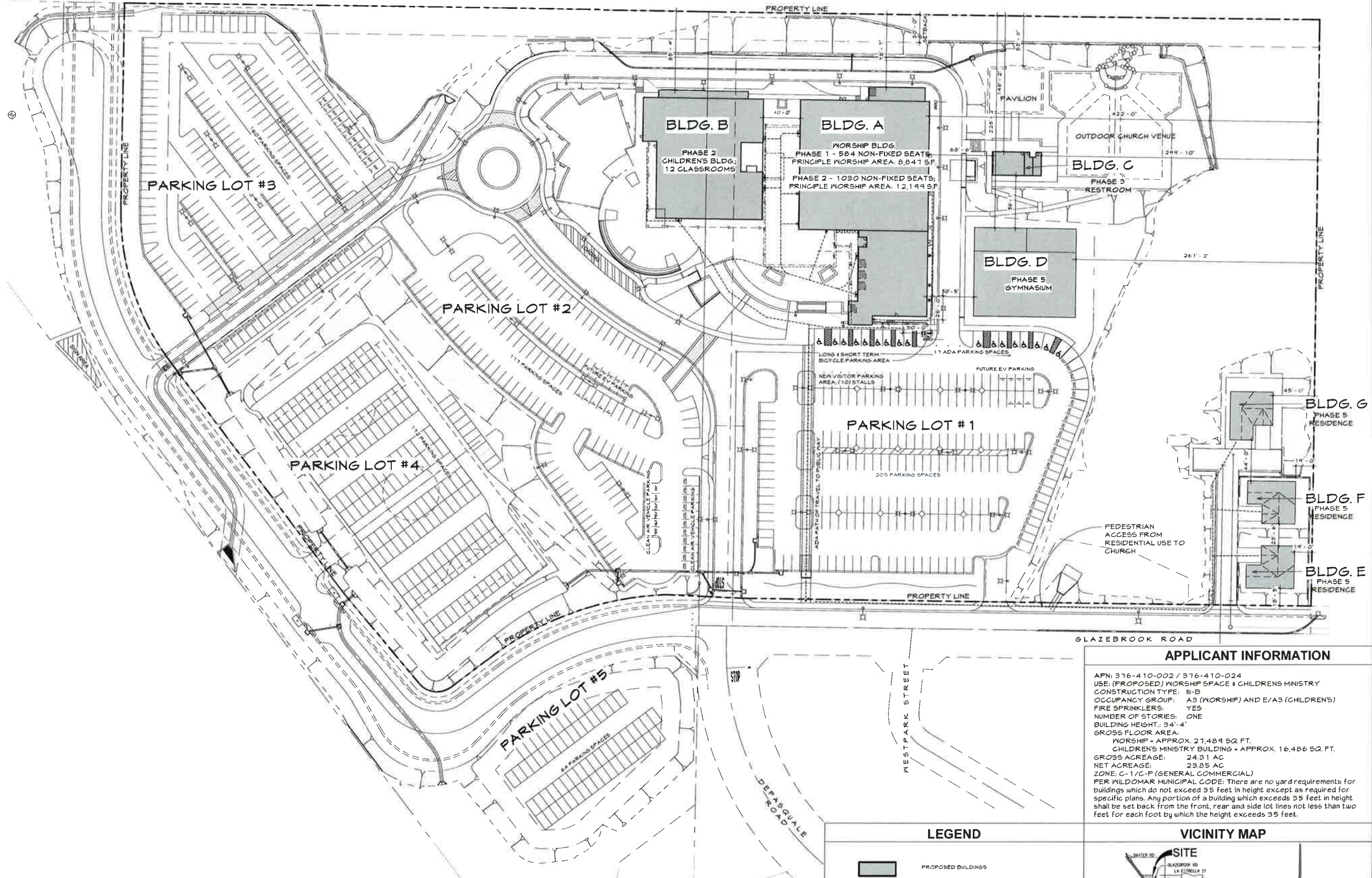
COVER SHEET

PLOT PLAN

DATE
06/10/2019

PROJECT
CODE
18630

Sheet No.
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SITE PLAN SCALE 1" = 40'-0" 1

LEGEND

- PROPOSED BUILDINGS
- PROPOSED PHASES
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL - ON-SITE
- EXIT DISCHARGE
- LIGHT POLES

APPLICANT INFORMATION

APN: 316-410-002 / 316-410-024
USE: (PROPOSED) WORSHIP SPACE 4 CHILDRENS MINISTRY
CONSTRUCTION TYPE: III-B
OCCUPANCY GROUP: A3 (WORSHIP) AND E/A3 (CHILDRENS)
FIRE SPRINKLERS: YES
NUMBER OF STORIES: ONE
BUILDING HEIGHT: 34'-4"
GROSS FLOOR AREA:
WORSHIP - APPROX. 27,489 SQ. FT.
CHILDRENS MINISTRY BUILDING - APPROX. 16,486 SQ. FT.
GROSS ACREAGE: 24.31 AC
NET ACREAGE: 23.85 AC
ZONE: C-1/C-P (GENERAL COMMERCIAL)
PER WILDOMAR MUNICIPAL CODE: There are no yard requirements for buildings which do not exceed 35 feet in height except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet.

VICINITY MAP



FAITH BIBLE CHURCH

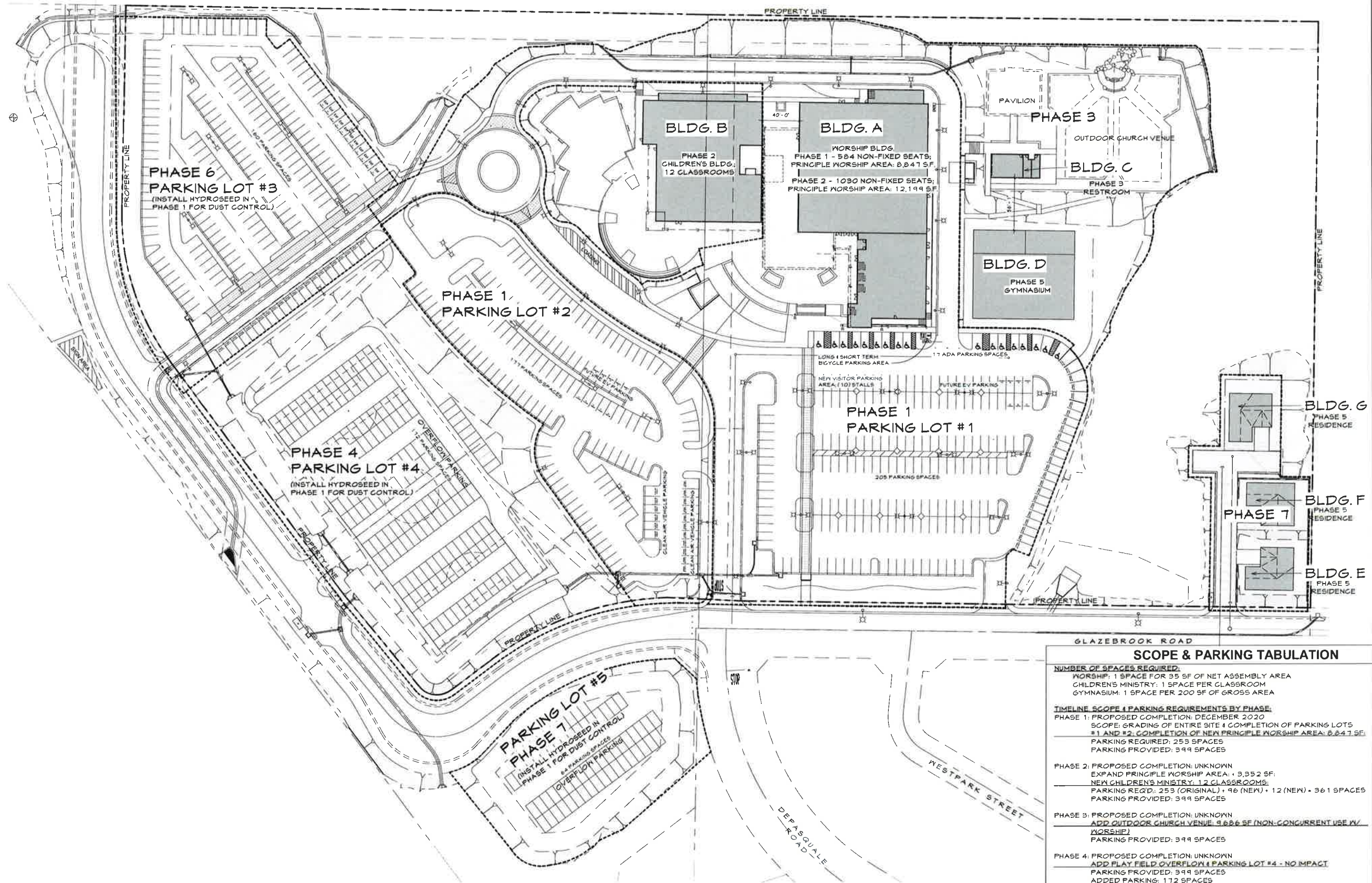
Crossing of Glazebrook Rd. and Depasquale Rd.
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SITE PLAN

6/10/2019 6:16:12 AM Site - Wildomar, CA - Visioneering Studios, Inc. - detached.rvt



SITE PHASING PLAN

SCALE
1" = 40'-0"

SCOPE & PARKING TABULATION	
NUMBER OF SPACES REQUIRED: WORSHIP: 1 SPACE FOR 95 SF OF NET ASSEMBLY AREA CHILDREN'S MINISTRY: 1 SPACE PER CLASSROOM GYMNASIUM: 1 SPACE PER 200 SF OF GROSS AREA	
TIMELINE SCOPE & PARKING REQUIREMENTS BY PHASE:	
PHASE 1: PROPOSED COMPLETION: DECEMBER 2020 SCOPE: GRADING OF ENTIRE SITE & COMPLETION OF PARKING LOTS #1 AND #2. COMPLETION OF NEW PRINCIPLE WORSHIP AREA: 8,847 SF. PARKING REQUIRED: 253 SPACES PARKING PROVIDED: 349 SPACES	
PHASE 2: PROPOSED COMPLETION: UNKNOWN EXPAND PRINCIPLE WORSHIP AREA: 3,952 SF. NEW CHILDREN'S MINISTRY: 12 CLASSROOMS. PARKING REQ'D: 253 (ORIGINAL) + 96 (NEW) + 12 (NEW) = 361 SPACES PARKING PROVIDED: 349 SPACES	
PHASE 3: PROPOSED COMPLETION: UNKNOWN ADD OUTDOOR CHURCH VENUE: 9,626 SF (NON-CONCURRENT USE W/ WORSHIP) PARKING PROVIDED: 349 SPACES	
PHASE 4: PROPOSED COMPLETION: UNKNOWN ADD PLAY FIELD OVERFLOW & PARKING LOT #4 - NO IMPACT PARKING PROVIDED: 349 SPACES ADDED PARKING: 112 SPACES	
PHASE 5: PROPOSED COMPLETION: UNKNOWN ADD GYMNASIUM: 18,024 SF (NON-CONCURRENT USE W/ WORSHIP) PARKING REQUIRED: 90 SPACES PARKING PROVIDED: 571 SPACES	
PHASE 6: PROPOSED COMPLETION: UNKNOWN ADD PARKING LOT #3 - NO IMPACT PARKING PROVIDED: 571 SPACES ADDED PARKING: 160 SPACES	
PHASE 7: PROPOSED COMPLETION: UNKNOWN ADD RESIDENCES & OVERFLOW PARKING - NO IMPACT PARKING PROVIDED: 731 SPACES ADDED PARKING: 64	

FAITH BIBLE CHURCH

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PLOT PLAN

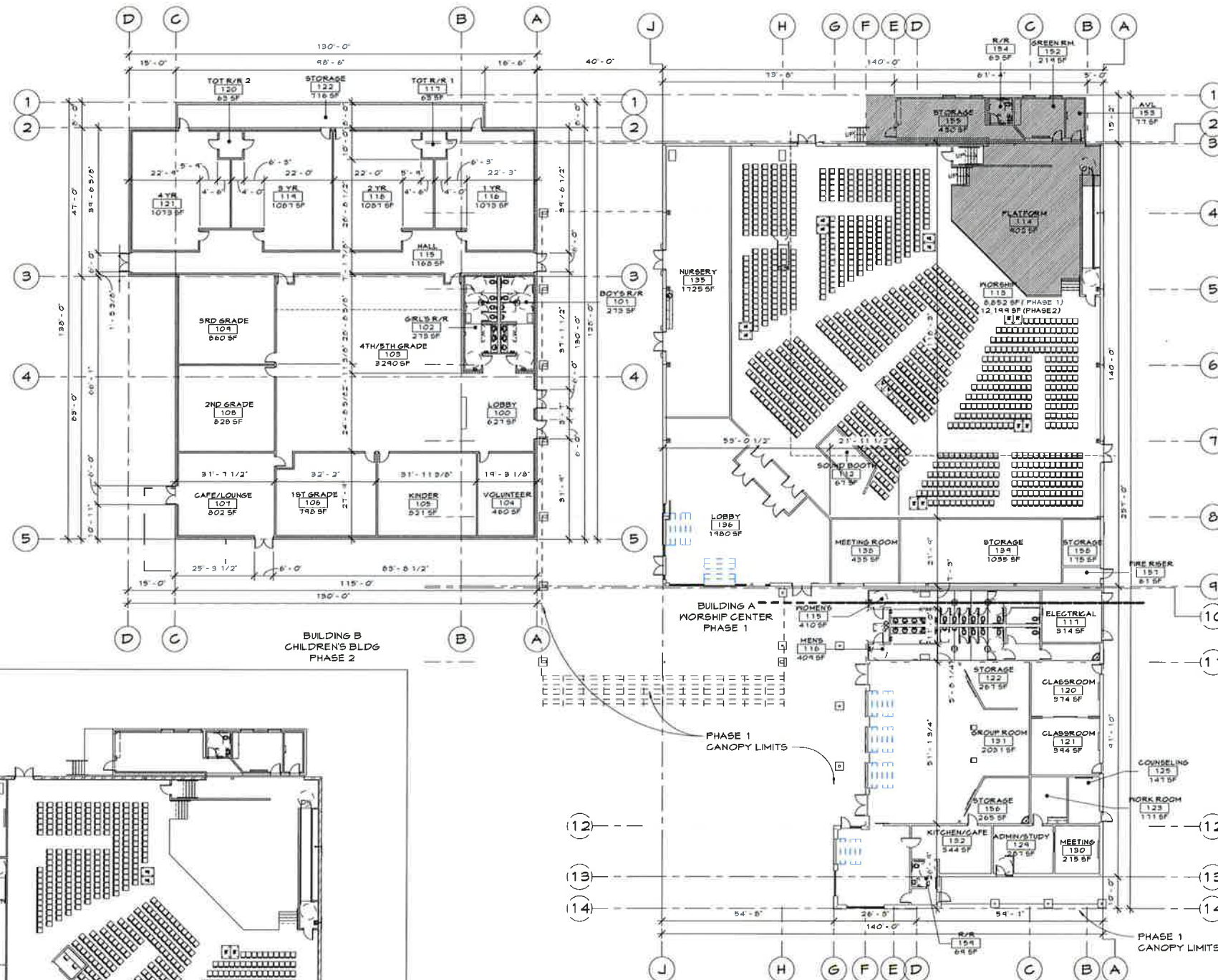
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PHASING SITE PLAN

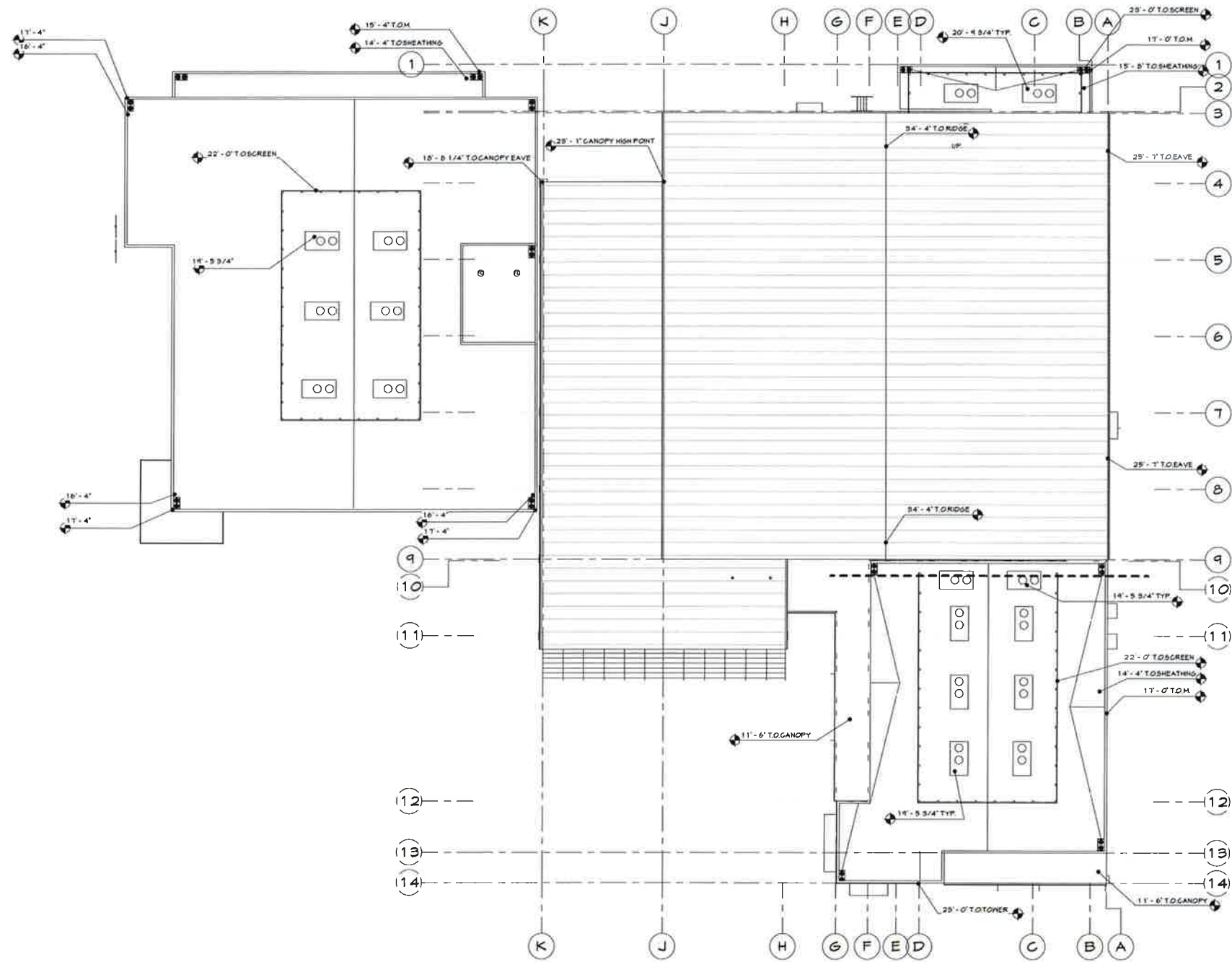
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SCALE	2
1/16" = 1'-0"	



SCALE	1
1/16" = 1'-0"	

Sheet No. _____



LEGEND



TYP. ROOF DRAIN - REFER TO PLUMBING DRAWINGS



CLASS A 60 MIL THK SINGLE-PLY ROOF
MEMBRANE ADHESIVE APPLIED OV CONCRETE
SLAB OV STRUCTURE



SPOT ELEVATION HEIGHT



'CLASS A' 16" PANEL, STANDING SEAM METAL
ROOF
KYNAR 500 - COLOR AS SEL



CRICKET- TAPERED RIGID INSULATION ADHESIVE
APPLIED OV CONCRETE ROOF TOP DECK

— 1/4:12 → ROOF SLOPE MINIMUM



OUTSIDE AIR CONDITIONER UNIT



DOWNPOUT



RESTROOM VENTS

ABBREVIATIONS:
B.O.M.P. BOTTOM

ABBREVIATIONS:
B.O.M.D. BOTTOM OF METAL DECK
T.O.B. TOP OF BEAM
T.O.C.C. TOP OF CONCRETE CURB
T.O.C.S. TOP OF CONCRETE SLAB
T.O.C.P. TOP OF CONCRETE PAVEMENT
T.O.F.D. TOP OF FLOOR DRAIN
T.C.F.S. TOP OF COMPOSITE FINISH
T.O.G.R. TOP OF GUARD RAIL
T.O.L.W. TOP OF LOW WALL
T.O.P. TOP OF PARAPET
T.O.S.S. TOP OF STRUCTURAL SLAB
T.O.T.S. TOP OF TOPPING SLAB

FAITH BIBLE CHURCH

WORSHIP BUILDING

ROOF PLAN

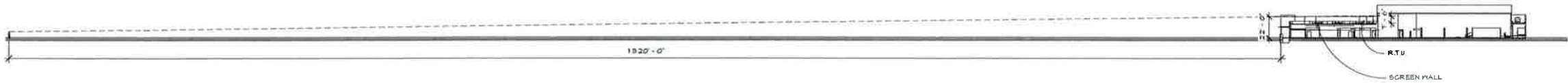
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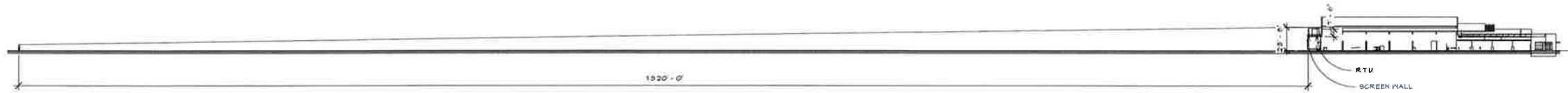
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EAST SIGHT LINE STUDY

SCALE
1" = 50'-0"

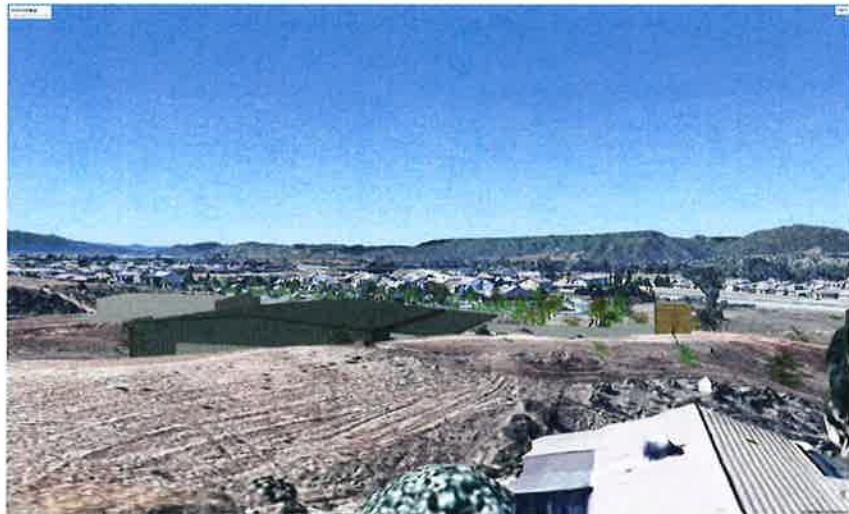
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WEST SIGHTLINE STUDY

SCALE
1" = 50'-0"

2



3D ROOF VIEWS

SCALE
NONE

3

FAITH BIBLE CHURCH
WORSHIP BUILDING
SIGHT LINE STUDY

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CROSSING OF GLAZEBOOK RD. AND DEPASQUALE RD.
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DESIGN INFLUENCES



SOUTHWEST VIEW



SOUTH VIEW



NORTHEAST VIEW

FAITH BIBLE CHURCH
WORSHIP BUILDING
RENDERINGS

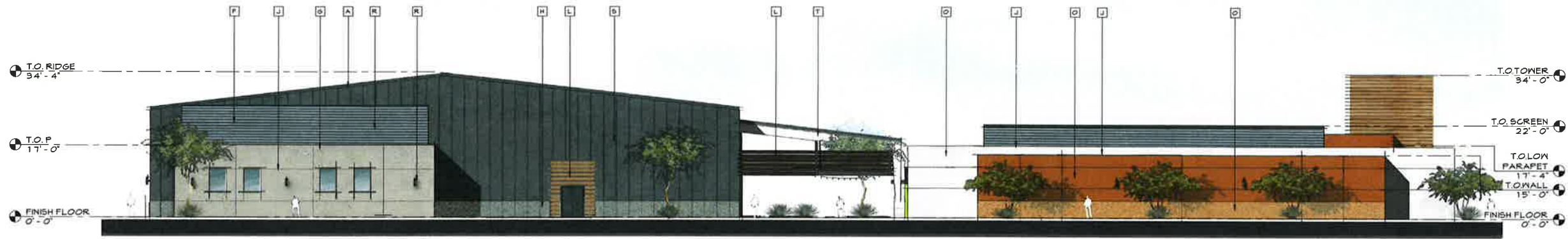
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NORTH - COLOR ELEVATION SCALE 3/32" = 1'-0" 2



EAST - COLOR ELEVATION SCALE 3/32" = 1'-0" 1



Item K Manufactured Stone Veneer
Mfg. Concrete
Style: Rough Cut Woodstone
Color: Dark Grey



Item D Gray Stucco
Mfg. Williams
Color: SW6099 Upward



Item D Orange Stucco
Mfg. Williams
Color: SW6099 Upward



Item W Tube Steel Corbel
Mfg. Williams
Color: SW6099 Upward



Item S 1 x 1 Pine Engineered Panels
Mfg. Williams
Color: Dark Grey



Item G Steel Mesh Siding
Mfg. Williams
Color: Dark Grey



Item L Wood Slats
Mfg. Williams
Color: SW6099 Upward

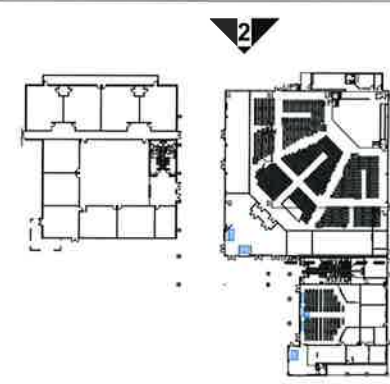


Item O Fiber Cement Siding
Mfg. Williams
Color: Dark Grey

EXTERIOR FINISHES

- A PREFAB ROOF PANEL SYSTEM - R-38 COMPOSITE RIGID INSULATION
- B ALUMINUM STOREFRONT SYSTEM - BRONZE ALUMINUM WITH PPS - SOLARCOOL (DUAL PANEL ASSEMBLY) GRAY GLASS ONE INCH ASSEMBLY
- C SINGLE PLY SYSTEM OVER APPROVED SUBSTRATE AND METAL DECK PROVIDE BUTTER WITH DOWN SPOUTS - ATAS - 03 MEDIUM BRONZE
- D HOLLOW METAL DOOR
- E ACOUSTICALLY INSULATED MOTORIZED COLING DOOR
- F MECHANICAL SCREEN TYPICAL FOR ROOF TOP UNITS
- G METAL COPING FACTORY PRE-FINISH
- H PRE-ENGINEERED BUILDING SYSTEM WITH R-19 INSULATED WALL PANELS AND FACTORY SIMULATED STUCCO FINISH COLOR SHALL BE SURREY BEIGE KYNAR PLASTER FINISH
- K MANUFACTURED STONE VENEER - CORONADO STONE - PROLEDGE, OAKBROOK CONCRETE GAP COLUMN FINISHED WITH APPROVED WATER REPELLENT AT ALL EXTERIOR EXPOSED SIDES
- L WOOD SLATS 1X6 CEDAR STAINED AND SEALED ALL SIDES FASTENED WITH GALVANIZED METAL FASTENERS - SHERWIN WILLIAMS - SVS 115-B FRUITWOOD
- M PROPOSED BUILDING GRAPHIC AREA UNDER SEPARATE PERMIT
- N CEDAR WOOD SLATS FENCE STAINED AND SEALED ALL SIDES, FASTENED WITH GALVANIZED FASTENERS ON PAINTED STEEL TUBE FRAME WITH GATE
- O DECORATIVE NICHE
- P SHEET METAL CORNICE AND COPING FACTORY PRE-FINISH
- Q 8X8 HORIZONTAL CEDAR WOOD SLATS AT 10' ON CENTER WITH 3 INTERMEDIATE VERTICAL MEMBERS, ONE AT EACH END, STAIN AND SEAL ALL SIDES
- R ALUMINUM 12" HIGH BUILDING ADDRESS, AND SHALL BE ILLUMINATED, CONTRASTING IN COLOR TO THE BACKGROUND AND CLEARLY VISIBLE FROM THE STREET SIDE OF THE BUILDING
- S CHAIN LINK FENCE WITH GATE
- T PRE-ENGINEERED CANOPY WITH BACK BRACE AND GUTTER WITH DOWN SPOUTS
- U ALUMINUM HANDRAIL
- V 6X10 T/S DOUBLE MEMBERS WITH TAPERED END AS SHOWN, FINISH WITH (2) COATS OF ENAMEL PAINT OVER PRIMER
- W TUBE STEEL CANOPY STRUCTURE MEMBERS, PAINT FINISH WITH (2) COATS OF ENAMEL PAINT OVER APPROVED PRIMER
- X 4X6 T/S BACK BRACE AS SHOWN FINISH WITH TYP. PAINT FINISH
- Z MECHANICAL UNIT

KEY PLAN



FAITH BIBLE CHURCH

WORSHIP BUILDING

COLOR - EXTERIOR ELEVATIONS - NORTH AND EAST

CROSSING OF GLAZEBOOK RD. AND DEPASQUALE RD.
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SOUTH COLOR ELEVATION Copy 1 SCALE 3/32" = 1'-0" 1



WEST - COLOR ELEVATION SCALE 3/32" = 1'-0" 2



Item K Manufactured Stone Veneer
Mfg. Centex
Style: Rough Oak Wood Stone
Color: Delivered



Item D Gray Veneer
Mfg. Sherwin Williams
Color: SW6005 (white)



Item C Orange Brown
Mfg. Sherwin Williams
Color: SW6005 (white)



Item W Poly Blue Concrete
Mfg. Sherwin Williams
Color: Sherwin Williams SW7075 (dark gray)



Item S & T Dark Engineered Panels
Mfg. Woodstock
Color: Dark Zinc



Item B Exposed Brick
Mfg. Woodstock
Color: Light Gray



Item L Wood Slats
Mfg. Sherwin Williams
Color: Sherwin Williams SW7075 (dark gray)



Item C Fiber Cement Siding
Mfg. James Hardie
Color: Everglades Blue

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- A PREFAB ROOF PANEL SYSTEM - R-30 COMPOSITE RIGID INSULATION
- B ALUMINUM STOREFRONT SYSTEM - BRONZE ALUMINUM WITH PPG - SOLARCOOL (DUAL PANEL ASSEMBLY) GRAY GLASS ONE INCH ASSEMBLY
- C SINGLE PLY SYSTEM OVER APPROVED SUBSTRATE AND METAL DECK. PROVIDE GUTTER WITH DOWN SPOUTS - ATAS - 03 MEDIUM BRONZE
- D HOLLOW METAL DOOR
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- M PROPOSED BUILDING GRAPHIC AREA UNDER SEPARATE PERMIT
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WORSHIP BUILDING

COLOR - EXTERIOR ELEVATIONS - SOUTH AND WEST

CROSSING OF GLAZEBOOK RD. AND DEPASQUALE RD.
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ABBREVIATIONS

A, AMPS	AMPS	KV	KILOVOLTS
A/C	AIR CONDITIONER	KVA	KILOVOLT-AMPERES
AC	ALTERNATE CURRENT OR ABOVE COUNTER	KW	KILOWATTS
ACF	AMPERE FRAME	KWH	KILOWATT-HOURS
AF	ABOVE FINISHED FLOOR	LCL	LONG CONTINUOUS LOAD
AFB	ABOVE FINISHED GRADE	LF	LINEAR FEET
AIC	AMPERE INTERRUPTION CURRENT	LCP	LIGHT CONTROL PANEL
AL	ALUMINUM	LPS	LOW PRESSURE SOILUM
ARCH	ARCHITECT/ARCHITECTURAL	LTC	LIGHTING
AS	AMPERE SWITCH	LTS	LIGHTS
ATP	AMPERE TRIP	MAX	MAXIMUM
ATS	AUTOMATIC TRANSFER SWITCH	MCB	MAIN CIRCUIT BREAKER
AWG	AMERICAN WIRE GAUGE	MCC	MOTOR CONTROL CENTER
BC	BARE COPPER	MH	METAL HALIDE
BKBD	BACKBOARD	MIN	MINIMUM
BKR	BREAKER	MLO	MAX LUG ONLY
CB	CIRCUIT BREAKER	MOC	MAX OVERCURRENT PROTECTION
CCTV	CLOSED CIRCUIT TELEVISION	MTD	MOUNTED
CAT.	CATALOG	MSB	MAIN SWITCHBOARD
CD	CANDELA	MSG	MAIN SWITCHGEAR
CFSD	COMBINATION FIRE SMOKE DAMPER	N	NEUTRAL
CKT	CIRCUIT	NEC	NATIONAL ELECTRICAL CODE
C.O.	CONDUIT ONLY	NIC	NOT IN CONTRACT
CUL	COPPER	NL	NIGHT LIGHT
DET	DETAIL	NKS	NOT TO SCALE
DISC	DISCONNECT (SWITCH)	NEW	NEW
DISC	DISTRIBUTION	ON	OVERHEAD
DP	DISTRIBUTION PANEL	P	POLE
DWG	DRAWING	PH	PHASE
EG	ELECTRICAL CONTRACTOR	PA	PUBLIC ADDRESS
EQ	EQUIPMENT GROUND (GREEN)	PDJ	POWER DISTRIBUTION UNIT
EM	EMERGENCY	PNL	PANEL OR PANELBOARD
EMS	ENERGY MANAGEMENT SYSTEM	PVC	POLYVINYL CHLORIDE
EPT	ELECTRICAL METALLIC TUBING	(R)	(R)
EMT	EMERGENCY POWER OFF	REC	RECEPTACLE
(E)	EXISTING	RECEPT	RECEPTACLE
FA	FIRE ALARM	(RL)	RELOCATED
FACP	FIRE ALARM CONTROL PANEL	RMS	ROOT MEAN
FLL	FULL LOAD AMPERES	SD	SQUARE SMOKE DETECTOR
FTV	FIELD TO VERIFY	SPECs	SPECIFICATIONS
(F)	FUTURE	SW	SWITCH
FSEC	FOOD SERVICE EQUIPMENT CONTRACTOR	SWBD	SWITCHBOARD
G, GND	GROUND	SYM	SYMMETRICAL
GEN	GENERATOR	T, TELE	TELEPHONE
GFI	GROUND FAULT INTERRUPTER	TB	TELEPHONE BACKBOARD
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	TYP	TYPICAL
HZ	HORSEPOWER	UG	UNDERGROUND
HPS	HIGH PRESSURE SODIUM	UGPS	UNDERGROUND FULL SECTION
IG	ISOLATED GROUND	U.O.N.	UNLESS OTHERWISE NOTED
IS	INTERRUPTING SHORT CIRCUIT	V	VOLT
J	JUNCTION BOX	VA	VOLT-AMPERES
KCMIL	THOUSAND CIRCULAR MILLS	VL	VOLT-LOCATION
		W	WATTS
		WH	WATER HEATER
		WHP	WEATHERPROOF
		WUP	WATERPROOF

SYMBOLS LIST

ANNOTATIONS LIGHTING

- | | | |
|--|--|--|
|  | LIGHTING FIXTURE DESIGNATION. REFER TO LIGHTING FIXTURE SCHEDULE. | |
|  | DETAIL REFERENCE | |
|  | SHEET NOTE REFERENCE | |
|  | DETAIL NOTE REFERENCE |  POLE MOUNTED LIGHTING FIXTURE. |
|  | KITCHEN EQUIPMENT DESIGNATION | |
|  | MECHANICAL EQUIPMENT CALLOUT. "BF" INDICATES UNIT TYPE AND "1" INDICATES UNIT NUMBER. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION AND ELECTRICAL REQUIREMENTS. | |
|  | FEDDER CALLOUT | |
|  | REVISION REFERENCE | |

LIGHTING

• **POLE MOUNTED LIGHTING FIXTURE:**

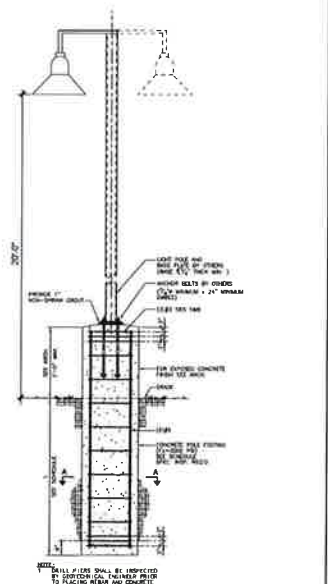
GENERAL NOTES

1. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO ACHIEVE A COMPLETE AND OPERATING SYSTEM.
2. COORDINATE AND OBTAIN APPROVALS FROM ALL RESPECTIVE UTILITY COMPANIES AS REQUIRED FOR A COMPLETE AND OPERATING INSTALLATION.
3. INSTALL RACEWAY SYSTEMS AS FOLLOWS:
 - a. USE ELECTRIC METALLIC TUBE CONDUIT IN ALL AREAS PROTECTED ABOVE CEILING OR IN WALLS.
 - b. USE RIGID GALVANIZED STEEL IN ALL AREAS EXPOSED TO WEATHER OR PHYSICAL DAMAGE.
 - c. USE FLEXIBLE METAL CONDUIT ONLY IN AREAS AS PERMITTED BY LOCAL CODE AUTHORITY.
 - d. USE SEAL-TITE IN AREAS EXPOSED TO WEATHER.
 - e. USE COMPRESSION TYPE FITTINGS FOR ELECTRICAL METALLIC TUBING WHERE UTILIZED.
 - f. USE P.V.C. CONDUIT UNDERGROUND WITH CODE SIZED GROUND CONDUIT RISERS AND STUBS ABOVE GRADE SHALL BE I.M.C. WITH HALF-LAPPED TAPE COVERING OR P.V.C. COATING.
 - f. THE USE OF ROMEX OR BX IS NOT PERMITTED.
4. ALL NEW WIRING SHALL BE COPPER TYPE "THHN/THWN" - U.O.N.
5. ALL CEILING MOUNTED ELECTRICAL DEVICES AND/OR EQUIPMENT SHALL BE SUPPORTED FROM THE CEILING GRID, NOT FROM CEILING TILE.
6. ALL FIXTURE, DEVICE, ETC... LOCATIONS SHALL BE VERIFIED WITH ARCH. DRAWINGS AS WELL AS EQUIPMENT SUPPLIER REQUIREMENTS PRIOR TO ANY ROUGH-IN WORK.
7. ALL LIGHTING FIXTURES SHALL BE MOUNTED AND SUPPORTED IN ACCORDANCE WITH OSHA STANDARDS AND ALL NATIONAL AND LOCAL ELECTRICAL CODES.
8. ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHTING FIXTURE MOUNTING KITS AS REQUIRED TO SUIT THE EXACT TYPE OF CEILING TO WHICH THEY ARE MOUNTED.
9. THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE INTENT OF EQUIPMENT, DEVICES, ETC... TO BE CONNECTED AND THE CIRCUITS TO WHICH THEY ARE TO BE CONNECTED TO. CONTRACTOR SHALL INSTALL ALL CONDUIT, J-BOXES, ETC... AS REQUIRED FOR A COMPLETE AND OPERATING SYSTEM.
10. ALL EXTERIOR EQUIPMENT SHALL BE WEATHERPROOF.
11. ELECTRICAL CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH ALL LOCAL AND NATIONAL GOVERNING CODES.
12. ALL EQUIPMENT SHALL BE NEW AND BEAR A "UL" LABEL - U.O.N.
13. ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY BUILDING PERMITS.
14. COMPLETE ELECTRICAL INSTALLATION SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF (1) YEAR - U.O.N.
15. ELECTRICAL CONTRACTOR SHALL INCLUDE IN BID - COSTS FOR ALL HVAC CONTROL COMPONENTS, CONDUITS, DEVICES, ETC... AS DEEMED NECESSARY FOR A COMPLETE AND OPERATING HVAC SYSTEM. REFER TO MECHANICAL DRAWINGS, DIAGRAMS AND SPECS FOR THOSE ITEMS REQUIRED UNDER THE ELECTRICAL SECTION OF THIS CONTRACT.
16. ELECTRICAL CONTRACTOR SHALL VISIT SITE PRIOR TO BID DATE, TO VERIFY ALL EXISTING CONDITIONS TO BE ENCOUNTERED IN THE INSTALLATION OF ALL NEW EQUIPMENT, FIXTURES, DEVICES, FEEDERS, ETC. EXACT INSTALLATION METHOD AND REQUIREMENTS SHALL BE VERIFIED AND DETERMINED PRIOR TO BID DATE. CONTRACTORS SHALL IMMEDIATELY NOTIFY THIS ENGINEER OF ANY REQUIRED MODIFICATIONS WHICH ARE NOT SHOWN ON THESE DRAWINGS. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED.
17. ALL EQUIPMENT ELECTRICAL CHARACTERISTICS, NEMA CONFIGURATION, LOCATIONS, AND CONNECTION REQUIREMENTS SHALL BE VERIFIED PRIOR TO ANY ROUGH-IN WORK.
18. ELECTRICAL CONTRACTOR SHALL FURNISH THE FOLLOWING SHOP DRAWINGS FOR PRIOR APPROVAL:
 - a. ALL SUBSTITUTED LIGHT FIXTURES.
 - b. ALL ELECTRICAL SERVICE EQUIPMENT, DISTRIBUTION EQUIPMENT AND PANELBOARDS.
 - c. OTHER ITEMS AS SPECIFICALLY INDICATED.
19. THESE ITEMS SHALL BE APPROVED BY THIS OFFICE PRIOR TO ANY COMMENCEMENT OF PLACING ORDERS OR PERFORMING ANY ROUGH-IN WORK.
19. COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDING IN ACCORDANCE WITH THE PRESENTLY ADOPTED EDITION OF THE N.E.C. ART. 250.
20. PENETRATIONS OF ALL FIRE RATED WALLS OR CEILINGS SHALL BE FIRE RATED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES.
21. PROVIDE RIVETED ON ENGRAVED PLASTIC NAMEPLATES (BLACK WITH WHITE LETTERS) FOR ALL MAJOR ELECTRICAL EQUIPMENT.
22. PROVIDE THE OWNER WITH ONE SET OF ELECTRICAL "AS-BUILTS" AT THE COMPLETION OF JOB.
23. ALL DEVICES MOUNTED BACK TO BACK ON THE FIRE RATED WALL SHALL BE MOUNTED WITH 24" MINIMUM HORIZONTAL OFFSET.
24. THE EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS AT SITE PRIOR TO SUBMITTING BID. ALL DEDICATION, ALTERATION, EXTENSION, RELOCATION, REHABILITATION WORK SHALL BE INCLUDED IN CONTRACT. NO ADDITIONAL ALLOWANCE OR CHANGE ORDERS WILL BE ACCEPTED.
25. CONTRACTOR IS RESPONSIBLE TO RELOCATE OR REMOVE FROM WALLS, CEILINGS, FLOOR SPACES, ETC. ANY EXISTING CONDUITS, WIRES, BOXES, FITTINGS, FIXTURES OR OTHER ELECTRICAL EQUIPMENT WHICH INTERFERES WITH TENANT IMPROVEMENT WORK. PROVIDE CIRCUIT CONTINUATION REQUIRED FOR ALL EXISTING OUTLETS, FIXTURES, EQUIPMENT, ETC. SCHEDULED TO REMAIN.
26. LOCATION OF OUTLET SHOWN IS APPROXIMATE ONLY AND OUTLET MAY BE MOVED TO SUIT EQUIPMENT LAYOUT. COORDINATE WITH ARCHITECT AND/OR TENANT REPRESENTATIVES FOR EXACT LOCATION.
27. PANELBOARDS SHALL BE PROVIDED WITH TYPEWRITTEN PANEL SCHEDULE MOUNTED INSIDE EACH PANEL AND ENGRAVED PRIMARY/SECONDARY PANEL LABELS FROM SWITCHBOARD.
28. VERIFY ALL DISCONNECT SWITCHES, FUSE SIZES AND TYPES WITH MECHANICAL EQUIPMENT MANUFACTURER PRIOR TO INSTALLATION.
29. A SEPARATE GROUNDING CONDUCTOR SHALL BE RUN IN ALL NON METALLIC CONDUIT RUNS.
30. ALL ELECTRICAL DEVICES SHOWN IN LIGHT ARE EXISTING TO REMAIN AND DARK ARE NEW.
31. THE UNGROUNDED AND GROUNDED CONDUCTORS OF EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE GROUPED BY APPROVED WIRE TIES OR SIMILAR MEANS IN AT LEAST ONE LOCATION WITHIN THE PANELBOARD OR OTHER POINT OF ORIGINATION. PROVIDE APPROVED HANDLE TIE AT CIRCUIT BREAKER AS REQUIRED.

LIGHT FIXTURE SPECIFICATION



The Philips Hueco Photopigment (a) is a new, more stable, in the ultraviolet light, providing a more stable and longer-lasting color of development, as well as increased contrast. This is particularly the latest LED technology which provides energy, long and provides uniform and consistent light.



LIGHT POLE DETAIL
SINGLE OR DOUBLE HEAD CONFIGURATION
SA1, SA2, SB1

VICINITY MAP



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**VISIONEERING
STUDIOS
CONSTRUCTION**
2050 Main St., Suite 400
Irvine, CA 92614

PROJECT TITLE

FAITH BIBLE CHURCH

WILDOMAR, CA

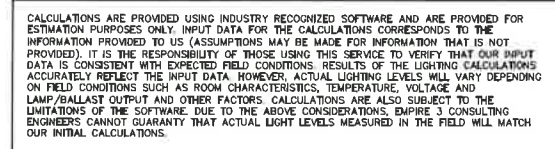
KEY PERSON(S) AND APPROVAL:

[illegible]

PLAYING TITLE: _____

GENERAL NOTES, ABBREVIATIONS, & SYMBOLS LIST

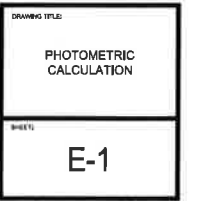
E-1



NOTE:

1. VERIFY ALL LIGHT FIXTURE FINISH COLORS WITH ARCHITECTS AND/OR OWNER'S REPRESENTATIVE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARALLEL I/O HARDSCAPE	+	1.8%	8.0%	0.2%	15.0	8.0:1



CA Building Energy Efficiency Standards – 2016 Nonresidential Compliance: <http://www.energy.ca.gov/article24/2016standards> September 2017

CA Building Energy Efficiency Standards: 2016 Nonresidential Compliance <http://www.energy.ca.gov/title24/2016standards> September 2017

CA Building Energy Efficiency Standards - 2018 Nuisance Heat Compliance: <http://www.energy.ca.gov/6462/646208.htm#standards> September 2017

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: <http://www.energy.ca.gov/a11c24/2016standards> September 2017

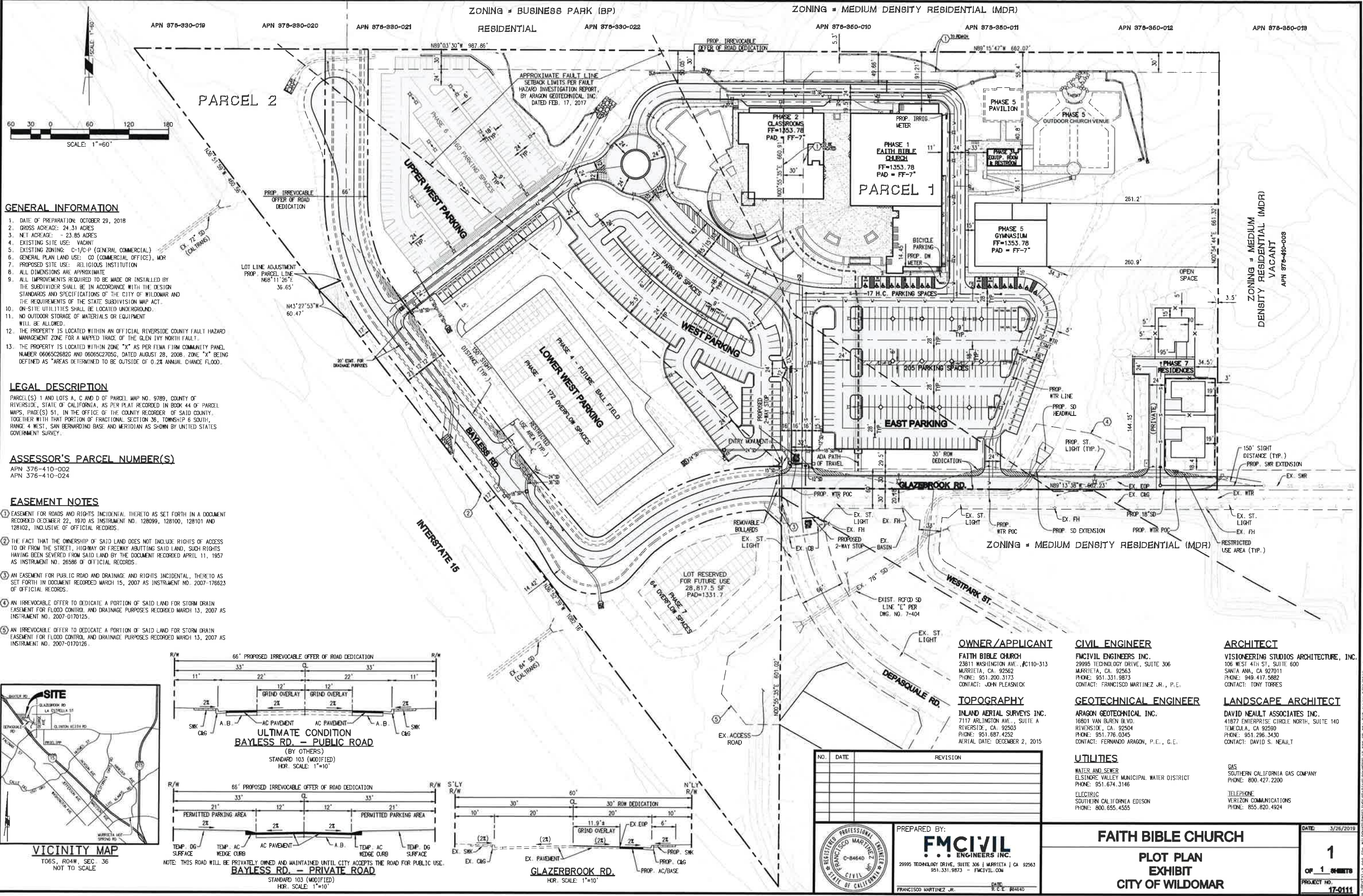
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CA Building Energy Efficiency Standards—2016 Nonresidential Compliance <http://www.energy.ca.gov/title24/2016/standards> September 2017

[illegible]

DRAWING TITLE:
OUTDOOR
TITLE 24

SHEET:
E-300



GENERAL INFORMATION

- 1. DATE OF PREPARATION: OCTOBER 29, 2018
- 2. GROSS ACREAGE: 24.31 ACRES
- 3. NET ACREAGE: 23.85 ACRES
- 4. EXISTING SITE USE: VACANT
- 5. EXISTING ZONING: C-1/C-P (GENERAL COMMERCIAL)
- 6. GENERAL PLAN LAND USE: CO (COMMERCIAL OFFICE), MOR
- 7. PROPOSED SITE USE: RELIGIOUS INSTITUTION
- 8. ALL DIMENSIONS ARE APPROXIMATE
- 9. ALL IMPROVEMENTS REQUIRED TO BE MADE OR INSTALLED BY THE SUBDIVIDER SHALL BE IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS OF THE CITY OF WILDOMAR AND THE REQUIREMENTS OF THE STATE SUBDIVISION MAP ACT.
- 10. ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND.
- 11. NO OUTDOOR STORAGE OF MATERIALS OR EQUIPMENT WILL BE ALLOWED.
- 12. THE PROPERTY IS LOCATED WITHIN AN OFFICIAL RIVERSIDE COUNTY FAULT HAZARD MANAGEMENT ZONE FOR A MAPPED TRACE OF THE GLEN IVY NORTH FAULT.
- 13. THE PROPERTY IS LOCATED WITHIN ZONE "X" AS PER FEMA FIRM COMMUNITY PANEL NUMBER 06065C26826 AND 06065C27056, DATED AUGUST 28, 2008, ZONE "X" BEING DEFINED AS "AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD."

LEGAL DESCRIPTION

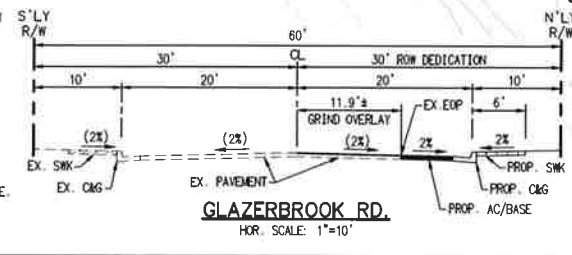
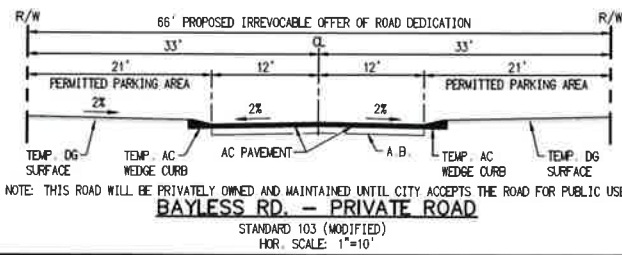
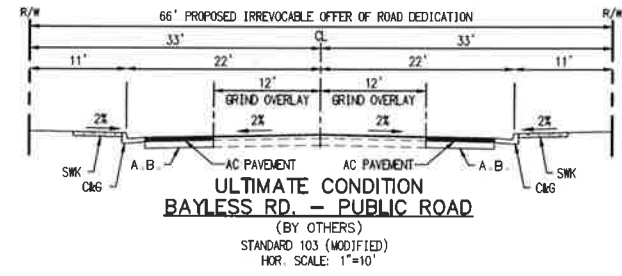
PARCEL(S) 1 AND LOTS A, C AND D OF PARCEL MAP NO. 9789, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 44 OF PARCEL MAPS, PAGE(S) 51, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF FRACTIONAL SECTION 36, TOWNSHIP 6 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN AS SHOWN BY UNITED STATES GOVERNMENT SURVEY.

ASSESSOR'S PARCEL NUMBER(S)

APN 376-410-002
APN 376-410-024

EASEMENT NOTES

- 1. EASEMENT FOR ROADS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 22, 1970 AS INSTRUMENT NO. 128099, 128100, 128101 AND 128102, INCLUSIVE OF OFFICIAL RECORDS.
- 2. THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN SEVERED FROM SAID LAND BY THE DOCUMENT RECORDED APRIL 11, 1957 AS INSTRUMENT NO. 26586 OF OFFICIAL RECORDS.
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PHONE: 951.200.3173
CONTACT: JOHN PLEASINCK

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AERIAL DATE: DECEMBER 2, 2015

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CONTACT: DAVID S. NEALT

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ELECTRIC
SOUTHERN CALIFORNIA EDISON
PHONE: 800.655.4555

GAS
SOUTHERN CALIFORNIA GAS COMPANY
PHONE: 800.427.2200
TELEPHONE
VERIZON COMMUNICATIONS
PHONE: 855.820.4924

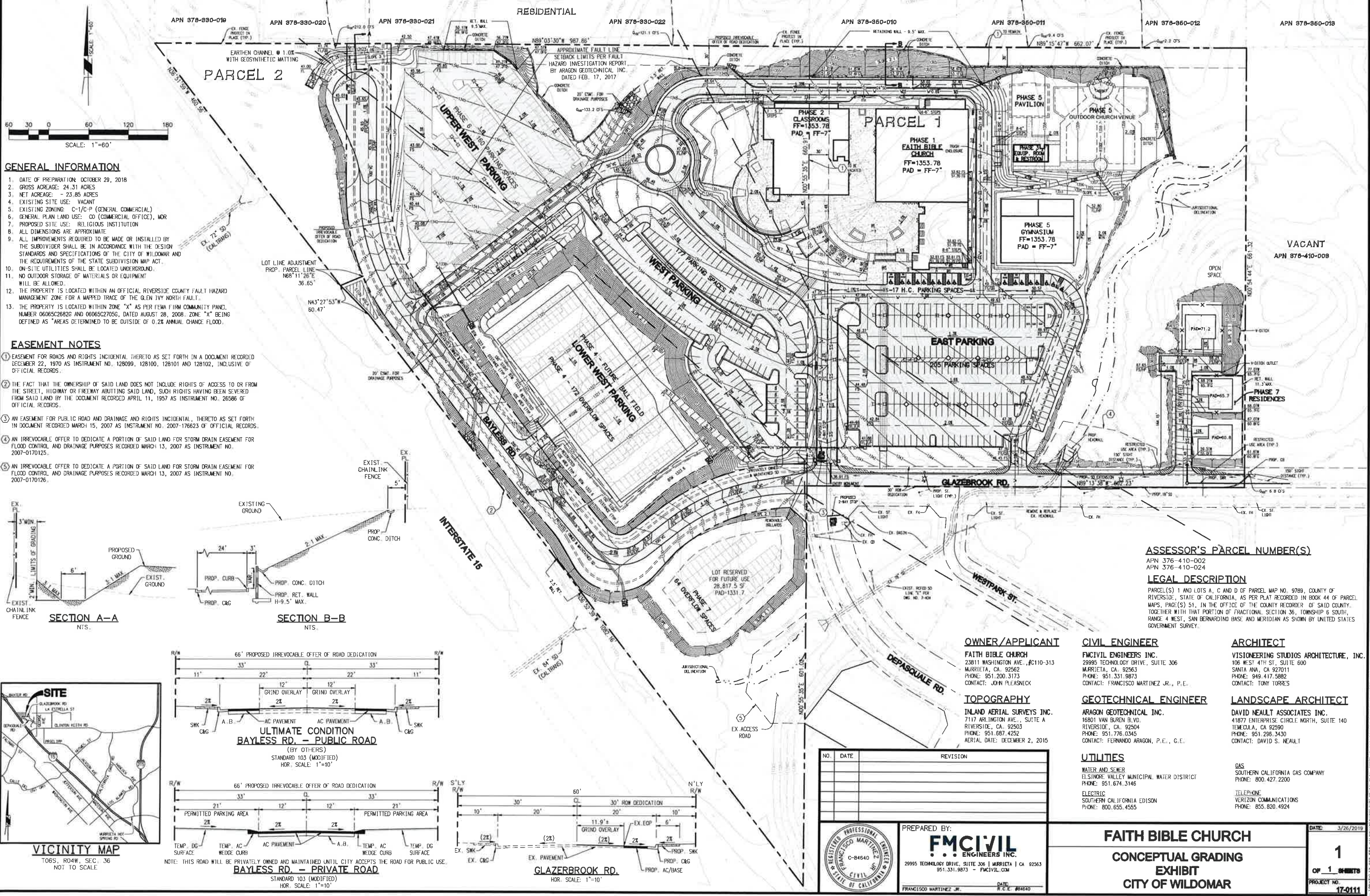
NO. DATE REVISION

PREPARED BY:
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ENGINEERS INC.
29995 TECHNOLOGY DRIVE, SUITE 306 | MURRIETA | CA 92563
951.331.9873 - FMCIVIL.COM

FRANCISCO MARTINEZ JR.
DATE: 3/26/2019
R.C.E. #04640

FAITH BIBLE CHURCH
PLOT PLAN
EXHIBIT
CITY OF WILDOMAR

DATE: 3/26/2019
1
OF 1 SHEETS
PROJECT NO: 17-0111

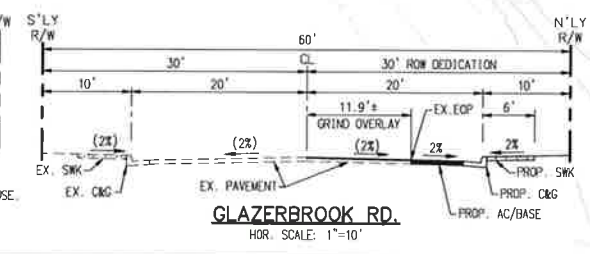
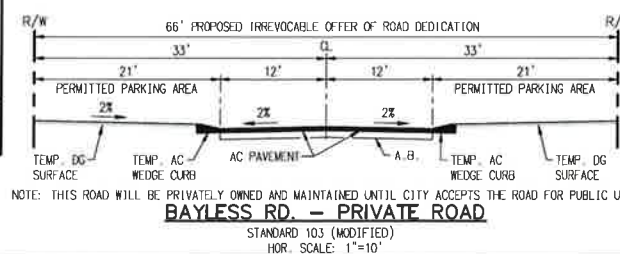
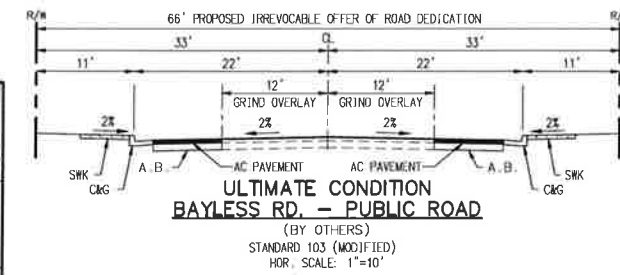
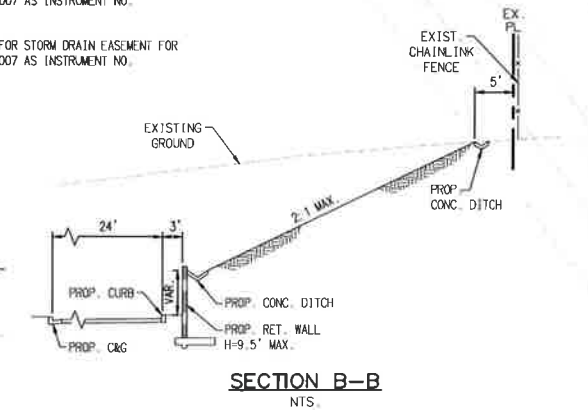
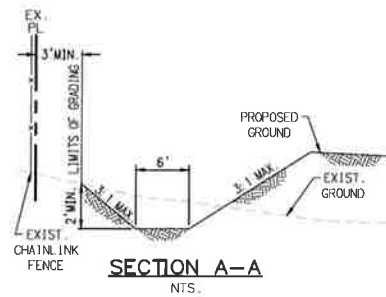


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AERIAL DATE: DECEMBER 2, 2015

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LANDSCAPE ARCHITECT

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PHONE: 951.296.3430
CONTACT: DAVID S. NEAULT

ASSESSOR'S PARCEL NUMBER(S)

APN 376-410-002
APN 376-410-024

LEGAL DESCRIPTION

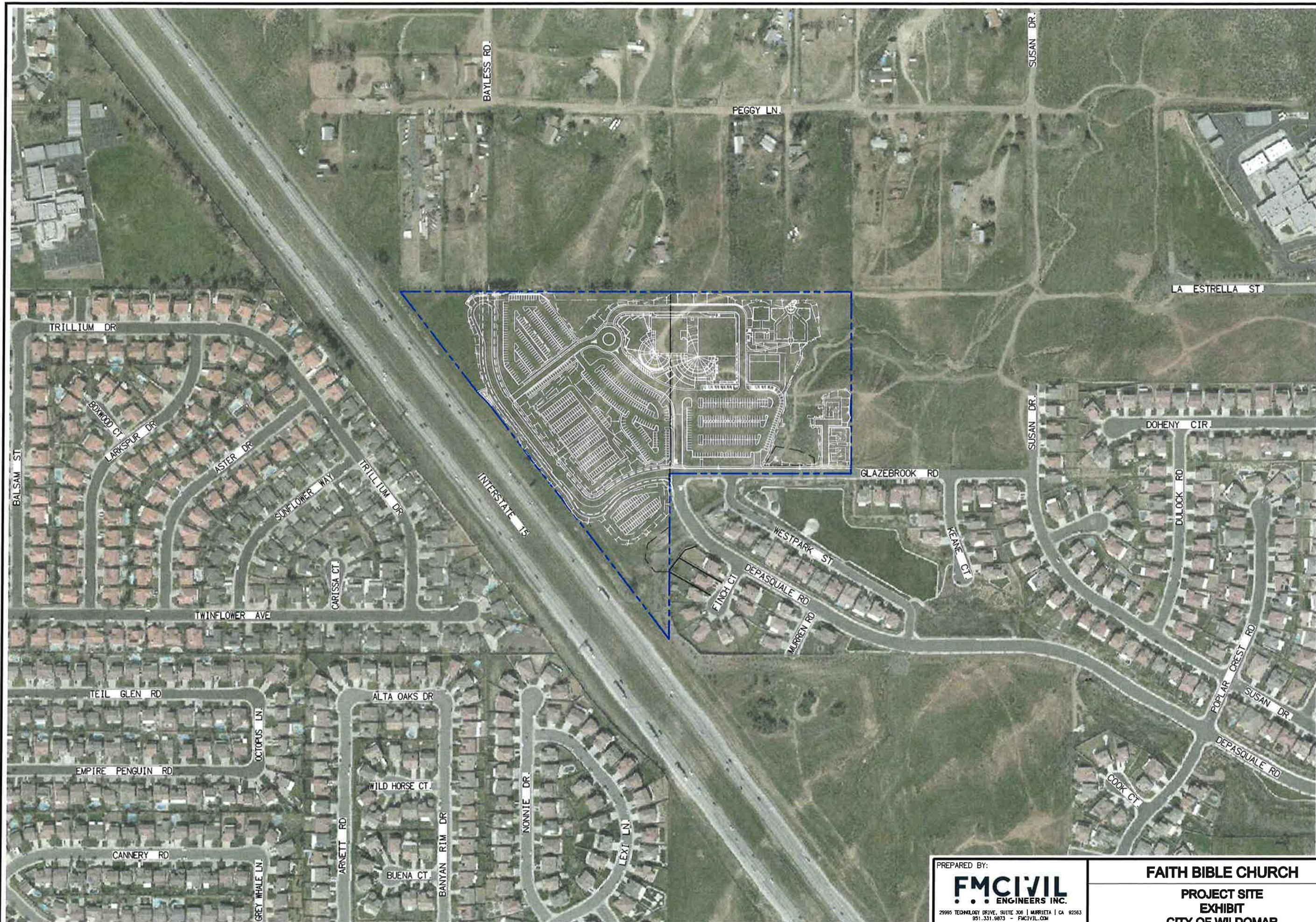
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NO.	DATE	REVISION

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951.331.9873 - FMCIVIL.COM
FRANCISCO MARTINEZ JR. DATE: 3/26/2019

FAITH BIBLE CHURCH
CONCEPTUAL GRADING
EXHIBIT
CITY OF WILDOMAR

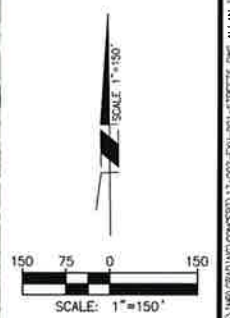
DATE: 3/26/2019
1
OF 1 SHEETS
PROJECT NO.: 17-0111



PREPARED BY:
FM CIVIL
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29995 TECHNOLOGY DRIVE, SUITE 306 | MARIETTA | CA 92563
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FAITH BIBLE CHURCH
PROJECT SITE
EXHIBIT
CITY OF WILDOMAR

DATE: 1/23/2019
1
OF 1 SHEETS



H:\DATA\17-002 THE WILDOMAR CHURCH\PROJECT\17-002-FBI-001-STREETS.DWG ALAN 1/23/2019 11:35 AM



ENTRY MONUMENT

LANDSCAPE DESIGN NOTES

- 50% OF THE TREES PROPOSED FOR THIS PROJECT ARE LOW WATER USE.
- 50% OF THE SHRUBS, GROUND COVERS AND VINES PROPOSED FOR THIS PROJECT ARE LOW WATER USE.
- TREES SHALL BE LOCATED 10' MIN. FROM SEWER, GAS, AND WATER LINES, 10' FROM FIRE HYDRANTS, 10' FROM STREET LIGHTS, 10' FROM STREET SIGNS.
- 3" MIN. DEPTH SHREDDED BARK MULCH TO BE USED IN ALL PLANTING AREAS EXCEPT TURF AND HYDROSEED AREAS.
- PLANT SELECTION TO ENSURE FULL SLOPE COVERAGE WITHIN 12 MONTHS OF PLANTING.
- AGRONOMIC SOIL TEST SHALL BE PERFORMED DURING GRADING.**

WATER USE CLASSIFICATION :
POTABLE WATER

NOTE:
ALL IMPROVEMENTS ARE TO BE
MAINTAINED BY THE PROPERTY OWNER.



CONCEPTUAL PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	PLANT FACTOR
LANDSCAPE TREES				
SCHINUS MOLLE GLEDITSIA 1. SHADE MASTER PINUS ELADARICA PLATANUS ACERIFOLIA OLEA EUROPAEA	CALIFORNIA PEPPER HONEY LOCUST AGHIAN PINE LONDON PLANE TREE FRUITLESS OLIVE	MIN. 15 GALLON	AS SHOWN	LOW LOW LOW MEDIUM LOW
ACCENT TREES				
ACACIA BAIYANA CERCIDIUM FOURBUNDUM JACARANDA MIMOSIFOLIA LIQUIDAMBER SYRACULIA LAGOSTROEUM INDICA BAUHINIA VAREGATA PRUNUS C. 'THUNDERCLOUD' PYRUS CALLERYANA QUERCUS AGRIFFOLIA SCHINUS MOLLE	BAILEYS ACACIA PALO VERDE TREE JACARANDA SWEET GUM CAPE MYRTLE ORCHID TREE PURPLE LEAF PLUM CALLERY PEAR COAST LIVE OAK CALIFORNIA PEPPER	MIN. 24" BOX	AS SHOWN	LOW LOW MEDIUM MEDIUM MEDIUM MEDIUM MEDIUM LOW LOW
PARKING TREES				
PLATANUS ACERIFOLIA PISATIA CHINENSIS QUERCUS VIRGINIANA SCHINUS MOLLE TPUANA TIPU ULMUS PARVIFOLIA	LONDON PLANE TREE CHINESE PRISTACHE SOUTHERN LIVE OAK CALIFORNIA PEPPER TPU TREE EVERGREEN ELM	MIN. 24" BOX	AS SHOWN	MEDIUM MEDIUM MEDIUM LOW MEDIUM MEDIUM
SCREEN SHRUBS				
PRUNUS ILLICIFOLIS LYONI GREVILLEA NOBILIS DODONAEA VISCOSA LEGISTRUM TEXANUM RHAPHIOLEPS 'MAJESTIC BEAUTY'	CATALPA CHERRY GREVILLEA HOP SEED BUSH TEXAS PRIVET INDIA HAWTHORN	5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON	4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C.	LOW LOW MEDIUM MEDIUM MEDIUM
FOUNDATION / LANDSCAPE SHRUBS				
ABELIA GRANDIFLORA ALYCOCHNE HUGELII BUXUS JAPONICA CENIS PURPUREUS DIETES VEGETA GREVILLEA NOBILIS MYRTUS COMMUNIS 'COMPACTA' NANDINA DOMESTICA LANTANA CAMARA LEUCOPHYLLUM F. 'GREEN CLOUD' PHOTINIA FRASERI PENNESETUM SETACEUM RHAPHIOLEPS INDICA ROSA SPECIES ROSMARINUS OFFICINALIS SALVIA LEUCANTHA MUHLENBERGIA SP.	GLOSSY ABELIA BLUE HIBISCUS JAPANESE BOXWOOD ROCKROSE FORTNIGHT LILY GREVILLEA COMPACT MYRTLE HEAVENLY BAMBOO LANTANA TEXAS RANGER PHOTINIA FOUNTAIN GRASS INDIA HAWTHORN ROSE ROSEMARY MEXICAN SAGE DEER GRASS	5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON	4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C. 4 O.C.	MEDIUM LOW MEDIUM LOW MEDIUM LOW MEDIUM MEDIUM LOW MEDIUM LOW LOW LOW LOW LOW
ACCENT SHRUBS / PERENNIALS				
AGAPANTHUS AFRICANUS ANZOLOANTHUS FLAVIDUS CENIS PURPUREUS DIETES BICOLOR HELIOTRICHON SEMPERVIRENS HEMEROCALLIS HYBRID ROSA SPECIES	LILY-OF-THE-NILE FANG-AROO PAW ROCKROSE FORTNIGHT LILY BLUE OAT GRASS DAY LILY SHRUB ROSE	1 GALLON 1 GALLON 1 GALLON 1 GALLON 1 GALLON 1 GALLON 1 GALLON	2 O.C. 2 O.C. 2 O.C. 2 O.C. 2 O.C. 2 O.C. 2 O.C.	MEDIUM LOW LOW MEDIUM MEDIUM MEDIUM MEDIUM
GROUND COVERS				
BACCHARIS P. 'PIGEON POINT' CEANOETHUS G. HORRONTALIS CENIS SALVIFOLIUS GAZANIA SP. LANTANA MONNEVERDEN LONICERA JAPONICA 'HALLIANA' MYOPORUM PARVIFOLIA PELAGONIUM PELTATUM ROSMARINUS O. 'PROSTRATUS' ROSA 'SEA FOAM'	DWARF COYOTE BRUSH CARMEL CREEPER SAGELEAF ROCKROSE GAZANIA TRAILING LANTANA HALL'S HONEYBUCKLE MYOPORUM IVY GERANIUM PROSTRATE ROSEMARY GROUND COVER ROSE	1 GALLON @ 24" O.C. 1 GALLON @ 24" O.C. 1 GALLON @ 24" O.C. FLATS @ 12" O.C. FLATS @ 12" O.C. FLATS @ 12" O.C. FLATS @ 12" O.C. 1 GALLON @ 24" O.C. 1 GALLON @ 24" O.C. 1 GALLON @ 24" O.C. 5 GALLON @ 24" O.C.		LOW LOW LOW MEDIUM LOW LOW LOW MEDIUM LOW MEDIUM MEDIUM
VINES				
DICTYOTIS BUCINATORIA BOUGAINVILLEA SPECIES JASMINUM POLYANTHEMUM PARITHEOCISSUS TRICUSPIDATA ROSA BANISIAE WISTERIA FLORIBUNDA	RED TRUMPET VINE BOUGAINVILLEA PINK JASMINE BOSTON IVY CLIMBING ROSE WISTERIA	5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON 5 GALLON	10' O.C. 10' O.C. 10' O.C. 10' O.C. 10' O.C. 10' O.C.	MEDIUM MEDIUM MEDIUM MEDIUM MEDIUM MEDIUM
NON-IRRIGATED HYDROSEED MIX				
HYDROSEED MIX: CALANDRINA CILIATA ESCHSCHOLZIA CALIFORNICA LASTHENIA CALIFORNICA LUPINUS ALBIFLORUS NASSELLA PULCHRA	RED MAIDS CALIFORNIA POPPY GOLDFIELDS SILVER BUSH LUPINE PURPLE NEEDLE GRASS	1 LBS / 1,000 S.F. 4 LBS / 1,000 S.F. 3 LBS / 1,000 S.F. 3 LBS / 1,000 S.F. 8 LBS / 1,000 S.F.		

PROJECT TYPE: "NEW"

Total Project Acreage: 24.31 Acres
Total Landscape Area: 592,237 s.f.
Percentage of Turf: 79,228 s.f. /13%

ASSESSOR'S PARCEL NUMBER(S)

APN 376-410-002
APN 376-410-024

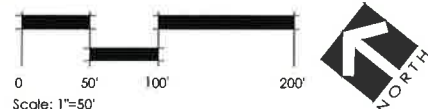
DESIGN TEAM

ARCHITECT: VISIONEERING STUDIOS ARCHITECTURE
CIVIL ENGINEER: FM CIVIL ENGINEERS, INC.
CONTRACTOR: PACIFIC CONSTRUCTION GROUP
LANDSCAPE ARCHITECT: DAVID NEAULT ASSOCIATES, INC.

LANDSCAPE MASTER PLAN SHEET 1 OF 3



LANDSCAPE CONCEPT FOR:
Faith Bible Church
WILDOMAR, CALIFORNIA



NOTE:
ALL IMPROVEMENTS ARE TO BE
MAINTAINED BY THE PROPERTY OWNER.

TOT LOT

- * 2-5 YEAR PLAY AREA WITH PLAY STRUCTURE AND MISC. FEATURES
- * 5-12 YEAR PLAY AREA WITH LARGE PLAY STRUCTURE, SHADE STRUCTURE, SWINGS AND MISC. FEATURES
- * SECURITY FENCING
- * SEAT WALLS AND BENCHES WITH BACKS
- * SHADE TREES

PEDESTRIAN CROSSING
ENHANCED PAVING, TYP.

WATER USE CLASSIFICATION : POTABLE WATER

WATER EFFICIENT LANDSCAPE WORKSHEET									
The worksheet is filled out by the project landscape architect as an integral element of the Landscape Documentation.									
Reference Evapotranspiration (ET ₀) xx.xx									
Hydrozone & Plant Description	Plant Spacing	Irrigation Method	xx.xx	ET ₀ Factor (ET ₀ /ET ₅₀)	ET ₀ Factor (ET ₀ /ET ₅₀)	Landscape Area (sq. ft.)	ET ₀ x Area	Estimated Total Water Use (ET ₅₀)	
Regular Landscape Areas									
(M-2) - Lawn South	9' x 2'	In-line Drip	0.81	0.75	10000	7500	10000	10000	
(M-3) - High Lawn	0' x 8'	Sprinkler	0.78	1.07	15000	10000	15000	15000	
(M-4) - Mid Lawn	0' x 8'	In-line Drip	0.81	0.62	10000	6200	10000	10000	
(M-5) - Water	0' x 0'	-	0.0	1.00	000	000	000	000	
Totals						28788	116434	178213	
Special Landscape Areas									
(M-1) - Bay, East		Border			67061	67061	217420		
					0	0	0	0	
					0	0	0	0	
Totals						67061	67061	217420	
						ET ₀ Total		135644.3	
						Maximum Allowed Water Allowance (MAWA)		520685	
Hydrozone & Planting Description									
(M-1) - Bay, East (M-2) - Lawn South (M-3) - High Lawn (M-4) - Mid Lawn (M-5) - Water									
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(M-1) - Bay, East (M-2) - Lawn South (M-3) - High Lawn </									

LANDSCAPE DESIGN CONCEPT

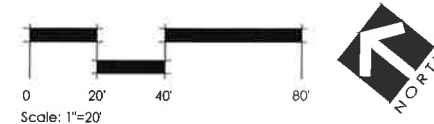
- Campus-style design for large with intimate outdoor gatherings.
- Efficient pedestrian circulation through parking areas.
- Landscape design with an Agrarian theme.
- Garden and play spaces for families and children.
- Consideration for mountain views.
- Drought tolerant, low maintenance plants.
- Natural shade with canopy trees.
- Blending with surrounding neighborhood landscape.
- Integration with City Streetscape.
- Compliance with City of Wildomar Landscape Standards.

LANDSCAPE DESIGN GUIDELINES

- ALL PLANTING AREAS SHALL RECEIVE 3" OF SHREDDED BARK MULCH AND 1 1/2" ON GROUND COVER FROM FLATS.
- ALL TREES WITHIN 6' OF ANY HARDSCAPE SHALL RECEIVE 36" DEEP, BY 20' LONG [CENTERED ON TREE] LINEAR ROOT BARRIER.
- ALL SLOPES 3' IN VERTICAL HEIGHT OR GREATER SHALL BE PLANTED WITH SHRUBS AND TREES AND IRRIGATED FOR SLOPE EROSION CONTROL. LANDSCAPING FOR SLOPES SHALL MEET BUILDING AND SAFETY REQUIREMENTS.
- LANDSCAPING SHALL CONSIST OF A COMBINATION OF TREES, SHRUBS AND GROUND COVERS, AS REGIONALLY APPROPRIATE AND POSSESSES SOPE STABILIZATION PROPERTIES.

LANDSCAPE ACREAGE

- TOTAL LANDSCAPE AREA - 7.39 ACRES



DESIGN TEAM

ARCHITECT:

CIVIL ENGINEER:

CIVIL ENGINEER:
CONTRACTOR:

CONTRACTOR:

ENLARGEMENTS
SHEET 2 OF 3

VISIONEERING STUDIOS ARCHITECTURE

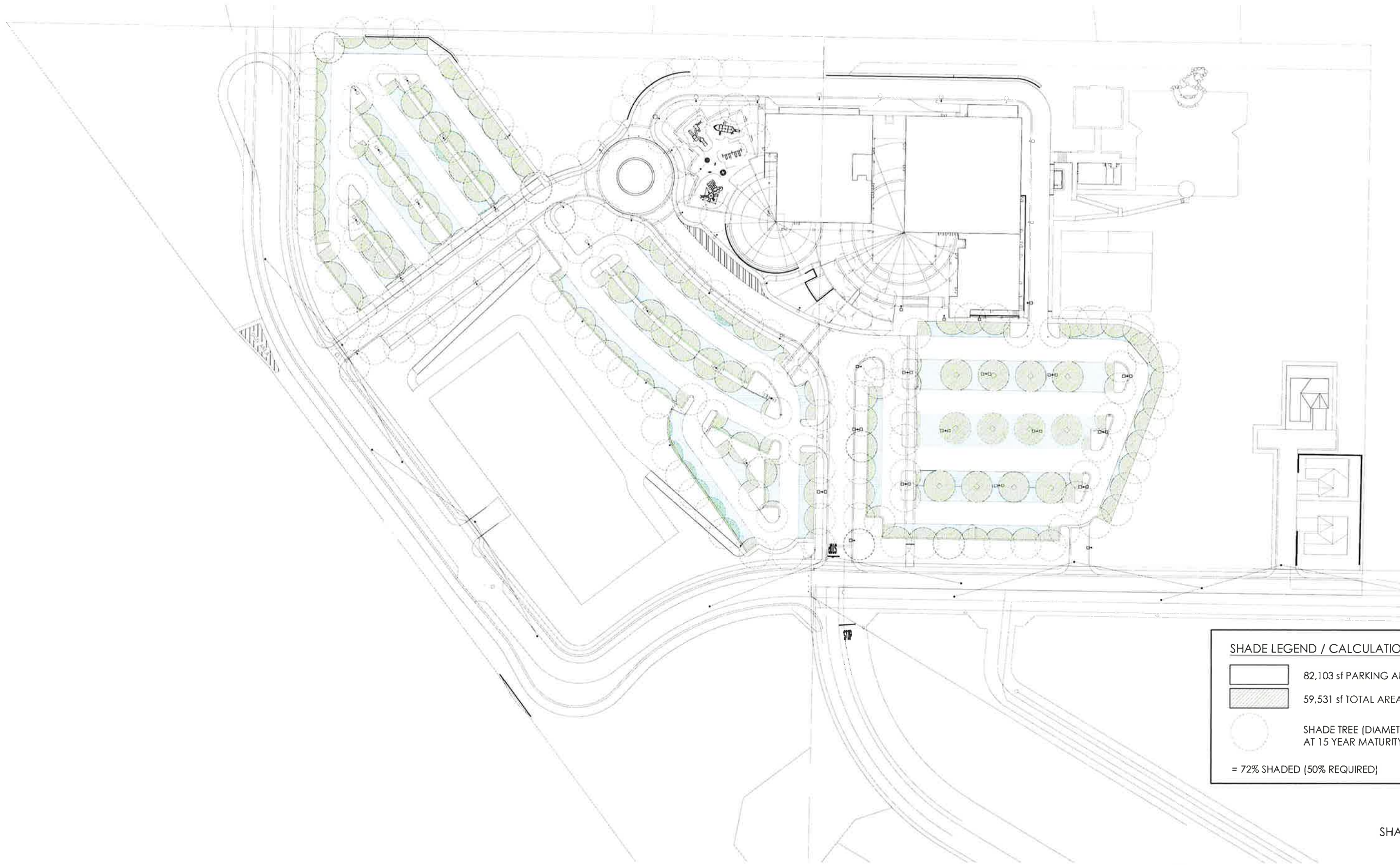
FAM CIVIL ENGINEERS, INC.

PACIFIC CONSTRUCTION GROUP

PACIFIC CONSTRUCTION GROUP

David NEALT
ASSOCIATES Inc.
296 3430
dnealt@nealt.com
03.26.19

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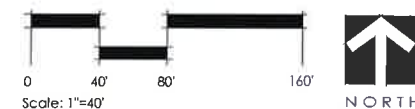


SHADE LEGEND / CALCULATIONS

-  82,103 sf PARKING AREA
-  59,531 sf TOTAL AREA OF SHADE
-  SHADE TREE (DIAMETER SHOWN AT 15 YEAR MATURITY)
- = 72% SHADED (50% REQUIRED)

SHADE CALCULATIONS
SHEET 3 OF 3

LANDSCAPE CONCEPT FOR:
Faith Bible Church
WILDOMAR, CALIFORNIA



DESIGN TEAM
ARCHITECT: VISIONEERING STUDIOS ARCHITECTURE
CIVIL ENGINEER: FM CIVIL ENGINEERS, INC.
CONTRACTOR: PACIFIC CONSTRUCTION GROUP
LANDSCAPE ARCHITECT: DAVID NEAULT ASSOCIATES, INC.

