

# OAK SPRINGS RANCH

## Specific Plan No. 340

April 2007 (Original Adoption)

August 11, 2021 (Amended by City of Wildomar)



### CONDITIONALLY APPROVED

- BY THE PLANNING DEPARTMENT
- BY THE PLANNING DIRECTOR
- BY THE PLANNING COMMISSION
- BY THE CITY COUNCIL

FOR THE CITY OF WILDOMAR ON 08/11/21

APPLICATION NOS. PA 20-0044

PLANNER Matthew Bassi

SIGNATURE Matthew Bassi

*Prepared for:*

### City of Wildomar

Planning Department  
23873 Clinton Keith Road, Suite 201  
Wildomar, California 92595  
(951) 677-7751

*Proposed by:*

### Trammell Crow Residential

5790 Fleet Street, Suite #140  
Carlsbad, CA 92008  
Jessica Cassolato, Development Associate

*Prepared by:*

### PlaceWorks

3 Macarthur Place, Suite 1100  
Santa Ana, California 92707  
Contact: Jorge Estrada, Senior Associate  
(714) 966-9220

Adopted: December 2007 (Original Specific Plan)  
August 2021 (Specific Plan Amendment No. 20-0044)



## TABLE OF CONTENTS

Section	Page
<b>1.0 SUMMARY.....</b>	<b>1-1</b>
1.1 Project Location .....	1-1
1.2 Project Overview .....	1-1
1.3 Purpose and Objective .....	1-2
1.4 Relationship to the California Environmental Quality Act.....	1-2
<b>2.0 INTRODUCTION.....</b>	<b>2-1</b>
2.1 Purpose and Intent .....	2-1
2.2 Authority and Scope .....	2-1
2.3 Specific Plan Consistency with the General Plan.....	2-2
2.4 Discretionary Actions and Approvals.....	2-2
2.4.1 Original Entitlement Approvals – County of Riverside .....	2-2
2.4.2 Subsequent Entitlement Approvals – City of Wildomar.....	2-3
<b>3.0 LAND USE PLAN .....</b>	<b>3-1</b>
3.1 Planning Area 1 – Attached Multi-Family Residential .....	3-2
3.2 Planning Area 2 – Attached Multi-Family Residential .....	3-7
3.3 Planning Area 3 – Open Space/Trails/Pedestrian Connections/Amenities.....	3-8
<b>4.0 CIRCULATION PLAN.....</b>	<b>4-1</b>
4.1 Roadways .....	4-1
4.2 Regional Community Trail.....	4-2
<b>5.0 PUBLIC FACILITIES &amp; PHASING.....</b>	<b>5-1</b>
5.1 Water Distribution.....	5-1
5.2 Sewer Services.....	5-1
5.3 Drainage Plan.....	5-2
5.3.1 Hydrology .....	5-2
5.3.2 Detention Analysis.....	5-7
<b>6.0 COMPREHENSIVE MAINTENANCE PLAN .....</b>	<b>6-1</b>
6.1 Residential Property Maintenance.....	6-1
6.2 Project Roadways .....	6-1
6.3 Open Space and Parks .....	6-1
<b>7.0 DESIGN GUIDELINES.....</b>	<b>7-1</b>
7.1 Development Guidelines.....	7-1
7.2 Massing Criteria and Site Planning Concepts .....	7-3
7.3 Grading Criteria.....	7-4
7.4 Siting Criteria .....	7-7
7.5 Fencing/Walls/Gates/Monuments .....	7-8



## TABLE OF CONTENTS

Section	Page
7.6 Architectural Features.....	7-25
7.6.1 Architectural Theme .....	7-25
7.6.2 Building Form, Mass, and Height.....	7-26
7.6.3 Shade and Shadow.....	7-31
7.6.4 Building Relief .....	7-31
7.6.5 Building Materials.....	7-32
7.6.6 Roof Form and Materials .....	7-33
7.6.7 Accessory Structures.....	7-33
7.7 Landscaping, Open Space, Recreation, and Lighting.....	7-35
7.7.1 Coverage.....	7-35
7.7.2 Plant Palette .....	7-36
7.7.3 Drought Tolerance .....	7-36
7.7.4 Spaces (Patios, Green Space, Trails, Recreation Areas) .....	7-39
7.7.5 Special Treatments/Buffer Area .....	7-40
7.7.6 Lighting .....	7-40
7.7.7 Site Furnishings.....	7-51
<b>8.0 DEVELOPMENT STANDARDS.....</b>	<b>8-1</b>
8.1 Development Guidelines.....	8-1
8.2 Planning Areas 1 and 2 Permitted Uses .....	8-2
8.3 Planning Area 3 Permitted Uses.....	8-2
8.4 Multifamily, Apartments, and Attached Multi-Family Residential Development Standards (Planning Areas 1 and 2) .....	8-3
8.4.1 Residential Development Standards .....	8-3
8.4.2 Parking Standards.....	8-4
8.5 Conditions of Development for Planned Residential Development.....	8-4
8.6 Site Layout.....	8-5
8.7 Pedestrian Access .....	8-5
8.8 Signs .....	8-5
8.8.1 Permanent Signs.....	8-6
8.8.2 Temporary Signs (present until the completion of project construction) .....	8-6
8.8.3 General Sign Standards and Specifications .....	8-6
8.8.4 Inappropriate/Prohibited Signs .....	8-7
8.8.5 Address Numerals .....	8-7
8.8.6 Directional Signage .....	8-7
8.8.7 Leasing and Temporary Signs.....	8-7



**LIST OF FIGURES**

<b>Figure</b>		<b>Page</b>
Figure 1-1	Regional Location Map.....	1-3
Figure 1-2	Local Vicinity Map .....	1-5
Figure 3-1	Land Use Plan .....	3-3
Figure 3-2	General Plan Land Uses Designations.....	3-5
Figure 4-1	Circulation Plan .....	4-3
Figure 4-2	Street Section - Clinton Keith Road .....	4-5
Figure 4-3	Street Sections - Inland Valley Drive & Wildomar Trail .....	4-7
Figure 4-4	Internal Private Drive Plan .....	4-9
Figure 4-5	Community Trail Plan .....	4-11
Figure 5-1	Water Plan .....	5-3
Figure 5-2	Sewer Plan .....	5-5
Figure 5-3	Drainage Plan.....	5-9
Figure 5-4	Fire Stations & School Sites Map.....	5-11
Figure 5-5	Phasing Plan.....	5-13
Figure 6-1	Maintenance Responsibility Plan.....	6-3
Figure 7-1	Grading Plan .....	7-5
Figure 7-2	Wall, Fence, & Monument Plan.....	7-9
Figure 7-3	Wall & Fence Elevations.....	7-11
Figure 7-4	Corner & Entry Monument Walls.....	7-13
Figure 7-5	Vehicular & Pedestrian Gates .....	7-15
Figure 7-6	Community Entry - Inland Valley Drive .....	7-17
Figure 7-7	Community Entry - Clinton Keith Road .....	7-19
Figure 7-8	Community Entry - Wildomar Trail .....	7-21
Figure 7-9	Community Exit - Wildomar Trail .....	7-23
Figure 7-10a	Multifamily Product Elevations .....	7-27
Figure 7-10b	Multifamily Product Elevations .....	7-29
Figure 7-11	Landscape Plan.....	7-37
Figure 7-12	Recreation Plan .....	7-41
Figure 7-13a	Multifamily Neighborhood Recreation Center (PA 1).....	7-43
Figure 7-13b	Multifamily Neighborhood Recreation Center (PA 1).....	7-45
Figure 7-14	Multifamily Neighborhood Recreation Area 2 (PA1) .....	7-47
Figure 7-15	Typical Par Course Station.....	7-49



## LIST OF TABLES

<b>Table</b>		<b>Page</b>
Table 3-1 Comprehensive Land Use Summary .....		3-2
Table 5-1 Utility Providers.....		5-7



## 1.0 SUMMARY

---

### 1.1 Project Location

The development area covered by the Oak Springs Ranch Specific Plan (Plan Area) is located in the City of Wildomar in Riverside County, California. Wildomar officially became a city on July 1, 2008. Prior to this date it was an unincorporated community of the Riverside County. With its incorporation as a city, Wildomar became the official overseer and administrator of the Oak Springs Ranch Specific Plan (SPA No. 340). Wildomar is approximately 40 miles easterly of the Pacific Ocean coastline, north of the City of Murrieta and south of the City of Lake Elsinore. Wildomar is separated from the coastline by the Santa Rosa mountain range.

Regional access to Wildomar is provided in a north-south direction via Interstate 15 (I-15) and in an east-west direction via Bundy Canyon Road from I-215 (through city of Menifee). Figure 1-1, *Regional Map*, shows the regional location of the Plan Area.

Locally, the Plan Area is immediately east of Wildomar City Hall and north of the Inland Valley Regional Medical Center. More specifically, the site is situated on the south side of Clinton Keith Road between Wildomar Trial and Inland Valley Drive, as shown in Figure 1-2, *Local Vicinity Map*.

### 1.2 Project Overview

Implementation of the Oak Springs Ranch Specific Plan (Specific Plan or Oak Springs Ranch) entails residential development on a 48.15-acre site. The gross grading area of the Plan Area is approximately 34 acres. The Specific Plan consists of three planning areas that combined, will function as a single residential community. The plan calls for the development of up to 600 multifamily apartment dwelling units and 14.35 acres of natural open space. The existing open space acreage will remain undisturbed in order to preserve and improve the value of the existing open space habitat. The residential and open space areas will be unified through the implementation of circulation, utility, drainage, and design elements and improvements. The site plan proposes a development configuration consisting of up to 600 multifamily apartment residences and a wide range of passive and active recreation facilities and amenities, which include a community trail with amenity stations, a multi-use trail, recreation/amenity buildings and fitness centers, picnic and barbecue areas, basketball half courts, communal swimming pools and spas, a dog park, and tot lots. The project is defined in more detail in Chapter 3, *Comprehensive Land Use Plan*.



## 1.3 Purpose and Objective

Throughout the planning of the Specific Plan, the underlying design philosophy has been to create a strong community character and quality that reflects the context of the region and the surrounding community and protects the site's environmental features. The integration of quality site planning, architecture, and landscaping into neighborhood design is a fundamental goal of the Specific Plan and the City's Multi-family Design Standards and Guidelines. The Specific Plan includes a detailed discussion of design guidelines and development standards for each planning area to ensure the philosophy of Oak Springs Ranch is fulfilled. The development design objectives include:

- Create a high standard in neighborhood design and implement it consistently over an entire new community.
- Create neighborhood designs that integrate quality architecture, site planning, and landscape.
- Design neighborhoods that connect with the community at large, yet are sensitive to the human scale and encourage pedestrian activity.
- Provide a trail system that encourages pedestrian activity and alternative means of transportation: walking or biking on-site and in the community at large.
- Preserve the natural amenities that are present on-site: native riparian habitat including the variety of California oak trees.
- Ensure that streetscapes and street spaces are attractive and comfortable.
- Provide local open space areas where neighbors can meet, and children can play.
- Incorporate and connect into the regional bus system to further encourage alternate means of transportation.
- Implement the goals and policies of the Wildomar General Plan.

## 1.4 Relationship to the California Environmental Quality Act

The California Environmental Quality Act (CEQA) was adopted to maintain the quality of the environment for the people of the State of California. Compliance with CEQA and its implementing guidelines requires that any agency considering action on a project must evaluate its potential environmental effects/impacts before granting an approval. Further, the state adopted a policy "that public agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects of such projects."

When applied to a specific project, such as the construction and operation of Oak Springs Ranch, the City is required to identify the potential environmental impacts of the project and where potential significant impacts are identified the City must determine whether there are feasible mitigation measures or alternatives that can be implemented to avoid or substantially lessen significant environmental effects of a project.

# OAK SPRINGS RANCH



REGIONAL MAP



not to scale



FIGURE 1-1

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*

# OAK SPRINGS RANCH



LOCAL VICINITY MAP



not to scale



FIGURE 1-2

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*



CEQA requires that the City of Wildomar acting as the Lead Agency consider the environmental information in the project record, including an environmental impact report (EIR), prior to making a decision on the proposed project. Pursuant to the CEQA Guidelines (Title 14, California Code of Regulations, Chapter 3, Section 15000 et seq.), the City, as Lead Agency under CEQA, prepared a Draft EIR (EIR No. 478) for the original Specific Plan to determine if approval of the Specific Plan and subsequent activities and development accommodated by the Specific Plan would have a significant impact on the environment. The decision that was considered by the County of Riverside (County) at the time of the SPA No. 340 adoption, the prior Lead Agency that oversaw adoption of the original Specific Plan and certification of the accompanying Draft EIR (State Clearinghouse No. 2004071076), was whether to adopt the Specific Plan with its land use plan and development guidelines for the project site and certify the Draft EIR. In December 2007, the County of Riverside Board of Supervisors adopted the original Specific Plan and certified the Draft EIR under Resolution 2007-514. The original Specific Plan was adopted and the Draft EIR was certified in compliance with the requirements of CEQA (California Public Resources Code, Section 21000 et seq.).

Subsequent to adoption of the original Specific Plan, Wildomar officially became a city on July 1, 2008. With its incorporation as a city, Wildomar became the official overseer and administrator of the original Specific Plan and Draft EIR, as well as any subsequent development of the project site that would be accommodated by the Specific Plan. Starting in January 2021, the City commenced the process to amend the original Specific Plan (amended Specific Plan) to change the SP PA2 Detached Residential land use designation to SP PA2 Multifamily Residential. This change in land use designation would allow for development of a new multifamily residential community on the portion of the project site (Planning Area 2) that was originally designated for single-family residential development. Along with the amended Specific Plan, the City undertook preparation of a Subsequent EIR pursuant to Section 15163 of the CEQA Guidelines. The City, as lead agency under CEQA, determined that a Supplemental EIR to the certified Draft EIR was appropriate to satisfy CEQA requirements by fully disclosing new impacts or changes in impacts that would occur as a result of the amended Specific Plan. In August 2021, the Wildomar City Council adopted the amended Specific Plan and certified the Supplemental EIR. The amended Specific Plan was adopted and the Supplemental EIR was certified in compliance with the requirements of CEQA (California Public Resources Code, Section 21000 et seq.).

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*



## 2.0 INTRODUCTION

---

### 2.1 Purpose and Intent

The Oak Springs Ranch Specific Plan No. 340 (Specific Plan or Oak Springs Ranch) is designed as a master-planned community on 48.15 acres in the City of Wildomar (City), Riverside County. The Specific Plan will contain a variety of multifamily residential housing types and recreational facilities and amenities integrated into individual neighborhoods. Infrastructure improvements are also planned to service the Oak Springs Ranch community. Development of the Specific Plan will enhance the image of the Plan Area (development area covered by the Specific Plan) and its surroundings through the provision of roadway improvements, entry monuments, and well-designed architecture and landscaping.

This Specific Plan serves as a long-range plan for the development of Oak Springs Ranch. It provides detailed text and exhibits that describe the various land uses, amenities, and infrastructure improvements that are envisioned for the new community. Chapter 3 of this document sets forth the comprehensive land use plan. Design guidelines and development standards contained in Chapters 7 and 8 will guide site planning, architectural design, and landscaping to create a cohesive community identity. In-depth thought and analyses have been undertaken to ensure that implementation of the Specific Plan's design standards result in the construction of a high-quality community. This Specific Plan serves as the guide to all development within the boundaries of the Plan Area. This document will also guide build-out of the Specific Plan in a manner that is consistent with City and state policies and standards and assures that the various community elements will be developed in a coordinated manner.

### 2.2 Authority and Scope

The Specific Plan, and Amendment #1 (adopted in August 2021), has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a general plan, for the purpose of establishing systematic methods of implementation of the agency's general plan. The Specific Plan was also prepared pursuant to the provisions of Section 17.08.080 (Specific Plans) of the Wildomar Municipal Code. The Specific Plan is designed to address site-specific issues and to create a bridge between the Wildomar General Plan and a specific development proposal. California Government Code, Sections 65450 through 65454, establishes the authority to adopt a specific plan, identify the required contents of a specific plan, and mandate consistency with the general plan.



## 2.3 Specific Plan Consistency with the General Plan

The Specific Plan was originally adopted by the Riverside County Board of Supervisors and amended by the Wildomar City Council via Ordinance 195—it serves as the zoning for the Plan Area. The Specific Plan provides a site-specific and detailed description of standards, guidelines, and development criteria that implement the Wildomar General Plan goals and policies, and results in the overall relationship between Oak Springs Ranch and the Wildomar General Plan. To achieve this, the Specific Plan must be in conformance and consistent with the Wildomar General Plan. The California Government Code states that a “*Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan.*”

Consistency with the Wildomar General Plan is achieved when the various land uses of the Specific Plan are compatible with the objective, policies, general pattern of land uses, and programs contained in the Wildomar General Plan. Consistency is defined by the Governor’s Office of Planning and Research (OPR) as, “An action, program, or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.”

In response to government requirements, this Specific Plan has been prepared to provide the essential link between Wildomar General Plan policies and actual development within the 48.15-acre Plan Area. By functioning as a regulatory document, the Specific Plan provides a means of implementing the Wildomar General Plan and detailing a specific development proposal for the Plan Area. It creates a comprehensive vision, theme, and land use plan that supports the policy direction that is identified in the Wildomar General Plan. In this regard, all future development plans, tentative parcel and/or tract maps or other similar entitlements, shall be consistent with regulations set forth in this document and with all applicable City regulations. As such, the Specific Plan is consistent with the goals and policies of the Wildomar General Plan.

## 2.4 Discretionary Actions and Approvals

Prior to the commencement of any development, the City must provide the developer of this Specific Plan with the land use entitlements needed to implement the Specific Plan. It is these approvals that will allow the proposed development to proceed and cause the corresponding changes to the physical environment. A Draft EIR and Supplemental EIR were prepared (see Section 1.4 of Chapter 1, *Summary*, for more detailed information regarding the CEQA documentation and process undertaken for the Specific Plan) and will be utilized as the information source and CEQA compliance document by the CEQA lead agency, the City of Wildomar, for the discretionary actions or approvals described below.

### 2.4.1 Original Entitlement Approvals – County of Riverside

Following are the discretionary and non-discretionary actions and approvals that were considered and approved by the County of Riverside Board of Supervisors prior to Wildomar being incorporated as a City on July 1, 2008. Prior to its incorporation, Wildomar was an unincorporated community of the County, which was the official overseer and administrator of the Specific Plan.



- General Plan Amendment No. 754 (from Light Industrial on southern portion of the Plan Area to Community Center)
- Specific Plan No. 340
- Certification of EIR 478
- Change of Zone No. 6922 (From C-P-S, Scenic Highway Commercial and I-P, Industrial Park to SP Zone, Specific Plan)
- Tentative Tract Map No. 31736
- Plot Plan No. 18966
- Any associated Open Space Maintenance Plan and/or Agreement
- Issuance of Grading, Stockpile, Encroachment, and Building Permits

## **2.4.2 Subsequent Entitlement Approvals – City of Wildomar**

Wildomar officially became a city on July 1, 2008. With its incorporation as a city, Wildomar became the official overseer and administrator of the Specific Plan. Following are the discretionary actions and approvals that were considered and approved by the Wildomar Planning Commission and City Council under Amendment #1 of SPA No. 340.

- General Plan Amendment (GPA No. 20-0044—to change the existing land use designation of Planning Area 2 from Medium High Density Residential [MHDR, 5-8 units/acre] to Highest Density Residential [HHDR, 20+ units/acre]);
- Specific Plan Amendment (SPA No. 20-0044—to change the SP PA2 Detached Residential land use designation to SP PA2 Multifamily Residential);
- Plot Plan (PA No. 20-0044) to develop the PA 2, 288-unit multi-family apartment complex with related on- and off-site improvement and amenities; and
- Certification of the Supplemental EIR (PA No. 20-0044)

In addition to the above discretionary and non-discretionary actions and approvals, the associated Draft EIR and Supplemental EIR may also be utilized by the following responsible agencies, dependent on the review, approval, or permit requirements of each in regard to the Specific Plan:

- ***California Regional Water Quality Control Board (RWQCB), Region 9, San Diego***

Issue a National Pollution Discharge Elimination System (NPDES) Permit for construction activities and/or Stormwater Pollution Prevention Plan; and

Issue a 401 Certification to discharge fill into the impacted 0.098 acre of the overall 0.44 acre of “waters of the United States.”

- ***California Department of Fish and Game***

Issue a 1600 agreement for impacts to the 0.79 acre of the overall 6.37 acres of “Streambed” that would be affected.



- ***U.S. Army Corps of Engineers***

Issue an individual permit (404) to dredge and fill within the impacted 0.098 acre of the overall 0.44 acre of “waters of the United States.”



### 3.0 LAND USE PLAN

Oak Springs Ranch Specific Plan (Specific Plan or Oak Springs Ranch) is a master-planned community on 48.15 acres in the City of Wildomar. The development area covered by the Specific Plan (Plan Area) will contain a high quality and aesthetically pleasing community comprised of multifamily residential, open space, and passive and active recreational land uses. The Specific Plan provides for a maximum of 600 multi-family residential dwelling units. Public and private recreation amenities will enhance the Plan Area and include such facilities as neighborhood recreation centers, neighborhood recreation areas, a native riparian habitat open space area, and a comprehensive trail system that includes an internal 6-foot-wide multi-use trail and a community trail, ranging between 8 and 12 feet in width, along the southern and eastern Plan Area boundary. The community trail will be accessible to the residents of Oak Spring Ranch as well as the surrounding communities. The proposed land use plan for Oak Springs Ranch is divided into three distinctive planning areas, which are illustrated in Figure 3-1, *Land Use Plan*, and are discussed in the following pages. The boundaries of the planning areas were dictated by the natural features of the site and by the application of various residential product types in the Plan Area.

The Plan Area is situated on historic ranchland with ridges and valleys throughout the site. The Plan Area consists of dense foliage and trees containing riparian habitat and native open space areas, including a significant number of oak trees. The Plan Area contains approximately 244 oak trees. Of the 244 oak trees, 47 specimen (2-inch diameter or more) trees are located within the Plan Area's grading footprint. Of the 47 impacted trees, 12 are proposed for retention in place and 8 are proposed for relocation within the Plan Area. As a result, a total of 27 trees will be removed and not relocated or retained onsite. The 27 trees to be removed are designated as California Department of Fish and Wildlife (CDFW) jurisdictional oak trees. According to the oak protection guidelines set forth by CDFW, the tree replacement ratio of 5 to 1 shall be implemented for these 27 trees, for a total tree replacement of 135 trees within the 1.5-acre oak tree mitigation area of the overall 48.15 Plan Area. The environmentally rich landscape of the Plan Area will be protected as the heart of the community and will provide natural open space amenities and views.

Through strong and cohesive community design and quality site planning, the Specific Plan will offer a diverse and convenient living environment for its residents. The Plan Area will be unified through the preservation of its natural environmental amenities and through the implementation of design elements. The architecture, landscaping, pedestrian network, walls, fencing, and entry treatments will be complementary to the native California landscaping that exists in the Plan Area. Variation of building designs will be permitted to allow individual neighborhoods to establish their own design character, yet maintain continuity within the Plan Area.

The Plan Area has a land use designation of Very High Density Residential, VHDR, Highest Density Residential, HHDR (with approval of GPA 20-0044) and Open Space-Habitat Conservation (OS-CH) on the City's General Plan Land Use Map (see Figure 3-2, General Plan Land Uses Designations). A change of the land use designations through the adoption of a specific plan amendment and a general plan amendment are proposed.



The overall Oak Springs Ranch residential development will promote pedestrian activity by providing an extensive trail network that allows pedestrian access throughout each residential planning area, as well as the community at large. In addition, street furniture such as benches, streetlights, and landscaping that is pedestrian oriented will be incorporated throughout the Plan Area to further enhance the pedestrian nature of Oak Springs Ranch. Furthermore, design guidelines are included in the Specific Plan that ensures that the buildings will be designed with sensitivity to the pedestrian, and will bring about a human scale to the buildings and site planning. Table 3-1 provides a summary of the proposed land uses for Oak Springs Ranch.

**Table 3-1**  
**Comprehensive Land Use Summary**

Land Use	Planning Area	Acres	Density Range (du/ac)	Maximum Dwelling Units
Attached Residential (MFR)	1	20.91	14–20	312
Attached Residential (MFR)	2	12.89	20+	288
Open Space	3	14.35	—	—
Total		48.15		600

## 3.1 Planning Area 1 – Attached Multi-Family Residential

Planning Area 1 (PA 1) is a multi-family apartment community that includes up to 312 dwelling units on 20.91 acres of land. This planning area is located on the southside of Clinton Keith Road, between Wildomar Trail and Inland Valley Drive and abuts the southwestern edge of Planning Area 2 (see Figure 3-1).

The residential density range in this planning area is 14–20 dwelling units per acre (VHDR designation). PA 1 will accommodate attached multifamily units that display 360-degree architectural treatment in a Craftsman-style design with articulation on all building facades, with a higher emphasis on facades visible from streets and open space areas. The type of residential units permitted in this planning area may include, but not be limited to, apartments, townhomes, condominiums, and motorcourt. The overall number of dwelling units within this planning area may not exceed 312.

The proposed layout of existing PA 1 is conceptual and is depicted in Figure 3-1, *Land Use Plan*. Any future changes to the approved site plan are permitted and anticipated; therefore, they will be approved administratively and will not require a specific plan amendment.

# OAK SPRINGS RANCH

## TABLE

PA	LAND USE	ACRES	DUs	DENSITY
PA1	Attached Residential	20.91	312	14-20
PA2	Attached Residential	12.89	288	20+
PA3	Open Space	14.35	-	-
<b>TOTAL</b>		<sup>±</sup> 48.15	600	



## LAND USE PLAN

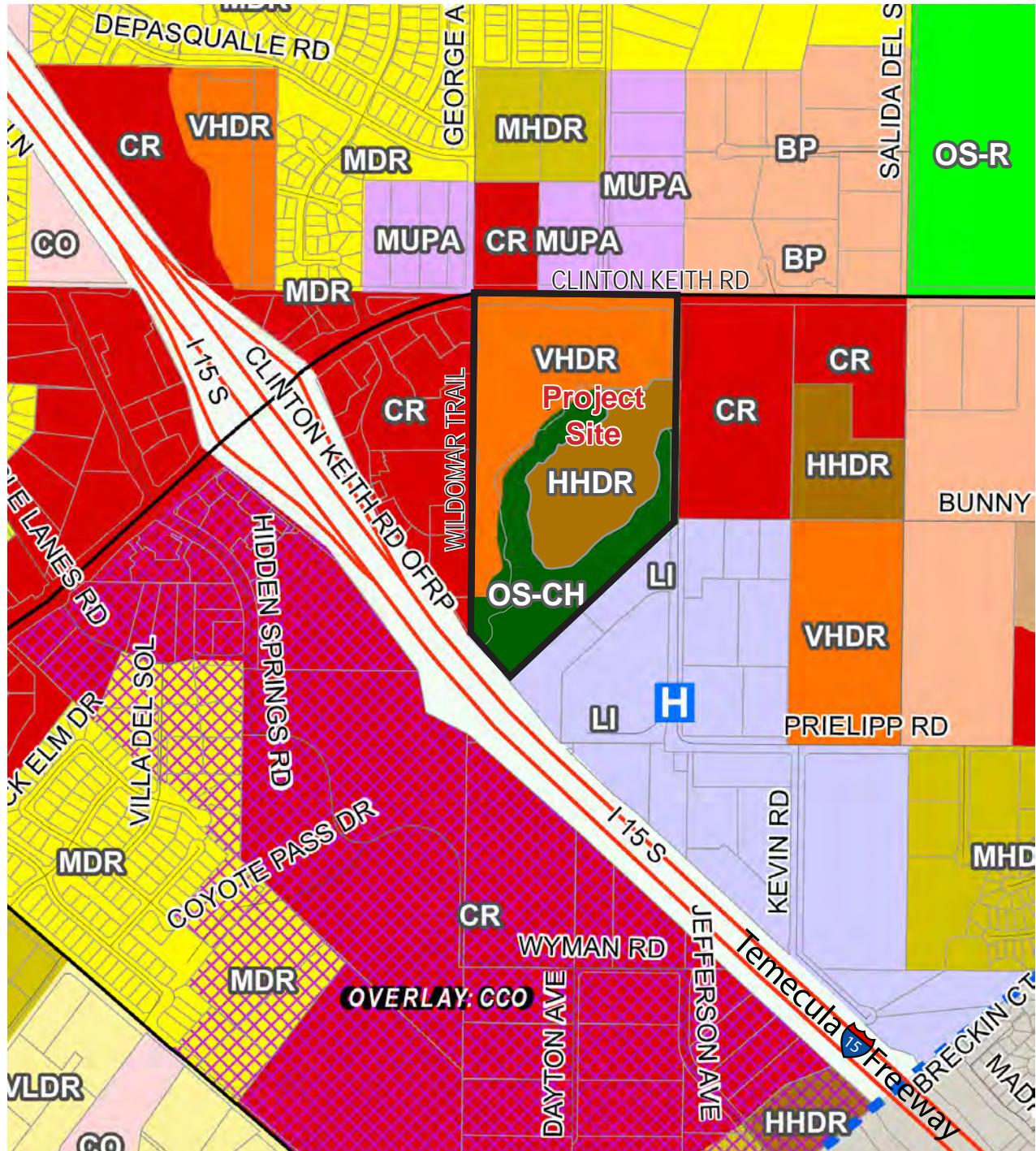


FIGURE 3-1



*This page intentionally left blank.*

# OAK SPRINGS RANCH



## GENERAL PLAN LEGEND

- Wildomar Parcels
- Wildomar City Limits
- Community Center (CC)

## GENERAL PLAN OVERLAY



not to scale



## LAND USE

Medium Density Residential (MDR)	Commercial Residential (CR)
Medium High Density Residential (MHDR)	Commercial Office (CO)
High Density Residential (HDR)	Light Industrial (LI)
Very High Density Residential (VHDR)	Mixed Use Planning Area (MUPA)
Highest High Density Residential (HHDR)	Open Space Residential (OS-R)
	Conservation Habitat (OS-CH)

## GENERAL PLAN LAND USE DESIGNATIONS



FIGURE 3-2

---

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*



PA 1 contains private recreation facilities and amenities, which include a neighborhood recreation/amenity center intended for use by numerous patrons concurrently, neighborhood recreation areas, a portion of the Plan Area's six-foot-wide multi-use trail, and par course stations. These recreation facilities and amenities are intended to exclusively service the Oak Springs Ranch community. Typical amenities within the neighborhood recreation areas include a swimming pool, spa, restroom and pool equipment building, fitness center, recreation building, outdoor fireplace and barbecue area, basketball half court, tot lot, picnic areas, open lawn areas, picnic areas, on-site parking, and similar neighborhood-serving uses.

The portion of the six- foot-wide multi-use trail within this planning area traverses along the edge of the open space habitat area (see Figure 7-12 in Chapter 7, *Recreation Plan*) and connects to the various recreation areas and par course/amenity stations. The par course/amenity stations are designed to provide exercise areas for the residents of the community (see Figure 7-15 in Chapter 7, *Typical Par Course Station*). A network of pedestrian walking paths is also provided throughout PA 1.

### **3.2 Planning Area 2 – Attached Multi-Family Residential**

Planning Area 2 (PA 2) is a residential area that includes up to 288 attached apartment dwelling units on 12.89 acres of land. This planning area is located south of PA 1, west of Inland Valley Drive, and east and north of the native riparian habitat open space area (PA 3) (see Figure 3-1).

The residential density in this planning area is 20+ dwelling units per acre (HHDR designation). Similar to PA 1, PA 2 will accommodate attached multifamily units that display 360-degree architecture or articulation on all building facades, with a higher emphasis on facades visible from streets and open space areas. The type of residential units permitted in this planning area may include, but not be limited to, apartments, townhomes, condominiums, and motorcourt. The overall number of dwelling units within this planning area may not exceed 288.

The proposed layout of PA 2 is depicted in Figure 3-1, *Land Use Plan*. The ultimate site layout is expected to change once final engineering, grading, and tentative maps are designed. Changes to the site plan are permitted and anticipated; therefore, they will be approved administratively and will not require a specific plan amendment.

Similar to PA 1, PA 2 contains private recreation facilities and amenities, which include a neighborhood recreation center intended for use by numerous patrons concurrently, neighborhood recreation areas, a portion of the Plan Area's six-foot-wide multi-use trail, and pedestrian trail amenity stations. These recreation facilities and amenities are intended to exclusively service the Oak Springs Ranch community. Typical amenities within the neighborhood recreation areas include picnic areas, swimming pool, spa, restroom and pool equipment building, open lawn areas, tot lot, outdoor fireplace and barbecue area, dog park, on-site parking, and similar neighborhood-serving uses.

The portion of the six-foot-wide multi-use trail within this planning area traverses along the edge of the open space habitat area (see Figure 7-12 in Chapter 7, *Recreation Plan*) and connects to the various recreation areas and pedestrian trail amenity stations. A network of pedestrian walking paths to serve the residents is also provided throughout PA 2.



### **3.3 Planning Area 3 – Open Space/Trails/Pedestrian Connections/Amenities**

Planning Area 3 provides 14.35 acres of open space land consisting of a native riparian habitat open space area that includes a variety of California oak trees and wildlife, a portion of the 12-foot-wide community trail, a comprehensive 6-foot-wide multi-use trail system, and par course/amenity stations. The community trail meanders along the open space area of the Plan Area's southern boundary, from Interstate 15 to Inland Valley Drive, and traverses into a portion of the northern boundary of the adjacent site (Inland Valley Medical Center) as shown on Figure 4-5, *Community Trail Plan*, in Chapter 4. The portion of the six-foot-wide multi-use trail within this planning area traverses along the edge of the habitat open space area (see Figure 7-12, *Recreation Plan*, in Chapter 7 of this specific plan) and connects to the various recreation areas and par course/amenity stations.



## 4.0 CIRCULATION PLAN

### 4.1 Roadways

As the result of a thorough traffic analysis conducted by Urban Crossroads, a roadway concept was developed for Oak Springs Ranch Specific Plan (Specific Plan or Oak Springs Ranch) as illustrated in Figure 4-1, *Circulation Plan*. Circulation improvements constructed as a part of the Specific Plan will improve the functional efficiency of the surrounding circulation system and will enhance the aesthetics of the street network through the implementation of landscape and streetscape improvements along the Plan Area's (development area covered by the Specific Plan) frontages.

Access to the Plan Area will be provided via Clinton Keith Road, Inland Valley Drive and Wildomar Trail. The main objective of the circulation plan is to provide direct and convenient access to the Oak Springs Ranch community through a safe and efficient network of roadways. A description of the roadway improvements that will be implemented as part of the Specific Plan are described below. Typical street cross sections for Clinton Keith Road, Inland Valley Drive, and Wildomar Trail are illustrated in Figures 4-2 and 4-3.

- *Clinton Keith Road*: Forms the northerly boundary of the Plan Area and is designated in the Wildomar General Plan Circulation Element as an Urban Arterial Highway, with a base right-of-way width of 152 feet (55 feet centerline to curb) and a curbed or painted median.
- *Inland Valley Drive*: Forms the easterly boundary of the Plan Area and is designated as a Secondary Roadway per the Wildomar General Plan Circulation Element, with a base right-of-way width of 100 feet (32 feet centerline to curb).
- *Wildomar Trail*: Forms the westerly boundary of the Plan Area. Wildomar Trail is an existing road fully improved when PA 1 was constructed in 2008/2009 (30 feet centerline to curb) as a collector roadway, from Clinton Keith Road to the southerly Plan Area boundary. The base right-of-way width for Wildomar Trail will be 60 feet. A traffic signal exists at Wildomar Trail and Clinton Keith Road and was constructed during development of PA 1.
- *Internal Streets and Cul-de-Sacs*: These mobility features provide circulation within the individual planning areas (see Figure 4-4, *Internal Private Drive Plan*). The project entries will include access-controlled gates, and the internal roadways and parking areas will be privately owned and maintained by the property owner and/or its agent (see Chapter 6, *Comprehensive Maintenance Plan*).

In addition to the above on- and off-site roadway improvements, a bus stop and shelter will be provided along the southern side of Clinton Keith Road, near Wildomar Trail (see Figure 4-1, *Circulation Plan*).

Nonvehicular circulation will be provided by the installation of trails, sidewalks, and painted bicycle lanes along the primary public roadways. The Specific Plan will comply with the City's bikeway plan in



effect at the time of Specific Plan approval. Turning radii for entrances and roundabouts shall be designed to the satisfaction of the City of Wildomar Public Works Department and the Riverside County Fire Department.

## 4.2 Regional Community Trail

The Plan Area is located in the Elsinore Area Plan of the County of Riverside's General Plan. The area plan designates Oak Springs Ranch as a site providing a community trail connection. A community trail is a critical part of this area plan as it provides linkages to other trails within the region. Extensive systems of proposed trails exist within the area plan, connecting new and existing developments with the Cleveland National Forest, the regional trail system, and other community trails.

As a part of the Specific Plan, an 8- to 12-foot-wide community trail will be provided to create a community trail linkage across and along the Plan Area to the trail locations designated in the Elsinore Area Plan. The community trail is illustrated in Figure 7-12, *Recreation Plan*. As illustrated in Figure 7-12, the community trail meanders along the open space area of the Plan Area's southern boundary, from Interstate 15 (I-15) to Inland Valley Drive, and traverses into a portion of the northern boundary of the adjacent site (Inland Valley Medical Center). The community trail then continues north along Inland Valley Drive and terminates at the Clinton Keith Road/Inland Valley intersection. The community trail along Inland Valley Drive will connect to the future community trail that will travel east of the Plan Area along Clinton Keith Road, eventually connecting to other community and regional trails east of the Plan Area. Figure 4-3, *Street Sections – Inland Valley Drive & Wildomar Trail*, depicts the community trail along Inland Valley Drive. Additionally, per the Elsinore Area Plan, the community trail will also continue southwest of the Plan Area across I-15. Figure 4-5, *Community Trail Plan*, shows the location of the proposed community trail through the Plan Area and how it relates and links to existing and future trails as outlined in the Elsinore Area Plan.

# OAK SPRINGS RANCH

## LEGEND

	Collector (60' ROW)
	Secondary (100' ROW)
	Urban Arterial (152' ROW)



## CIRCULATION PLAN

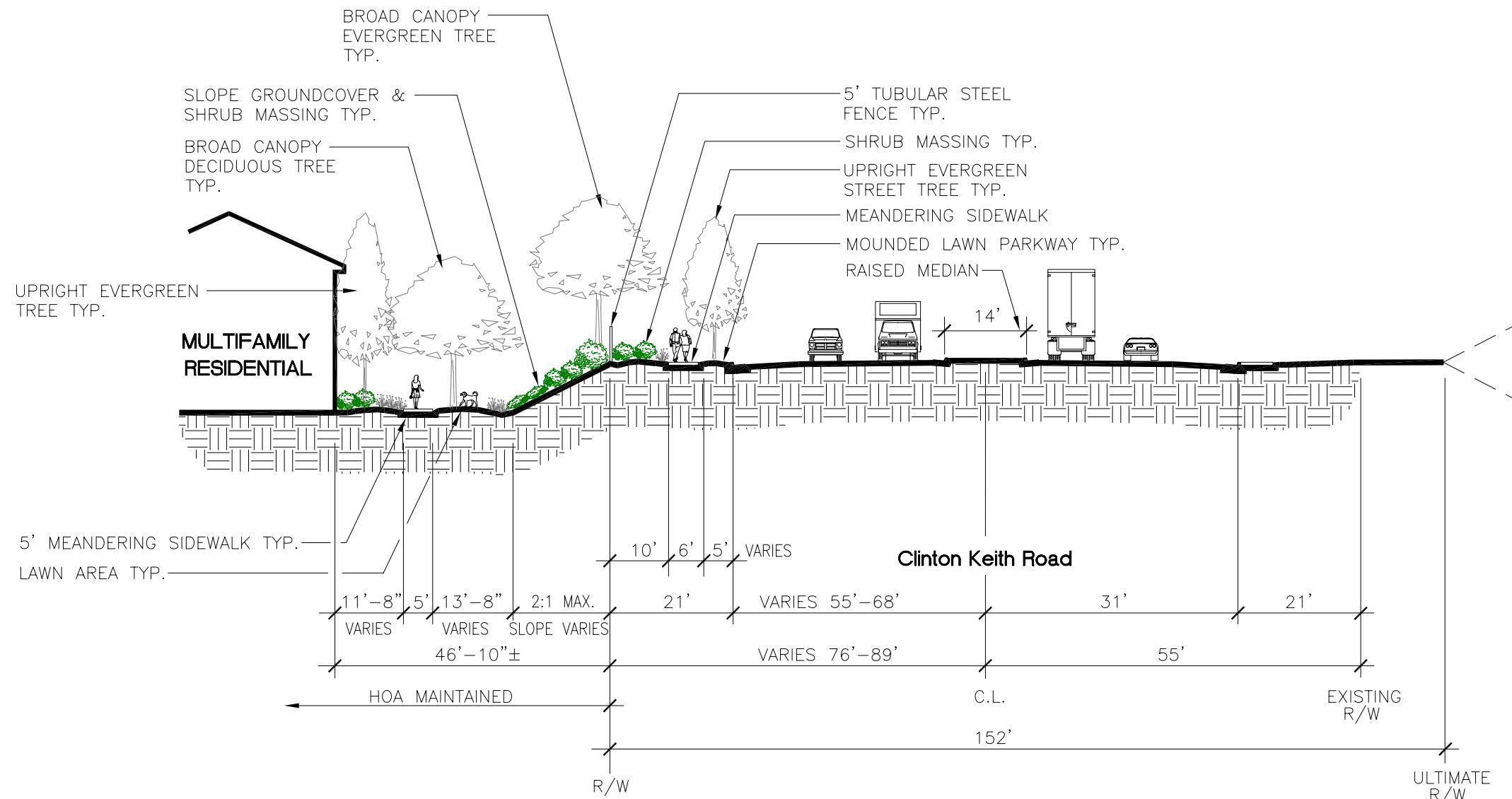


FIGURE 4-1



*This page intentionally left blank.*

# OAK SPRINGS RANCH



STREET SECTION  
CLINTON KEITH ROAD

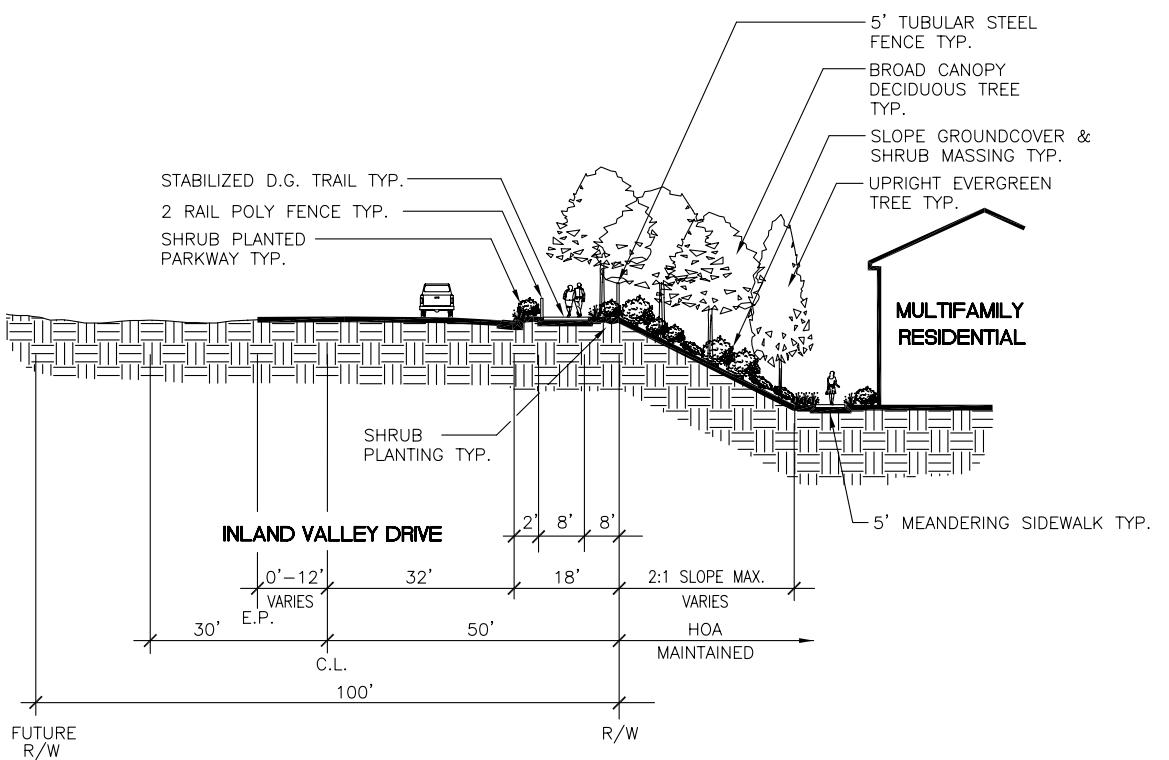
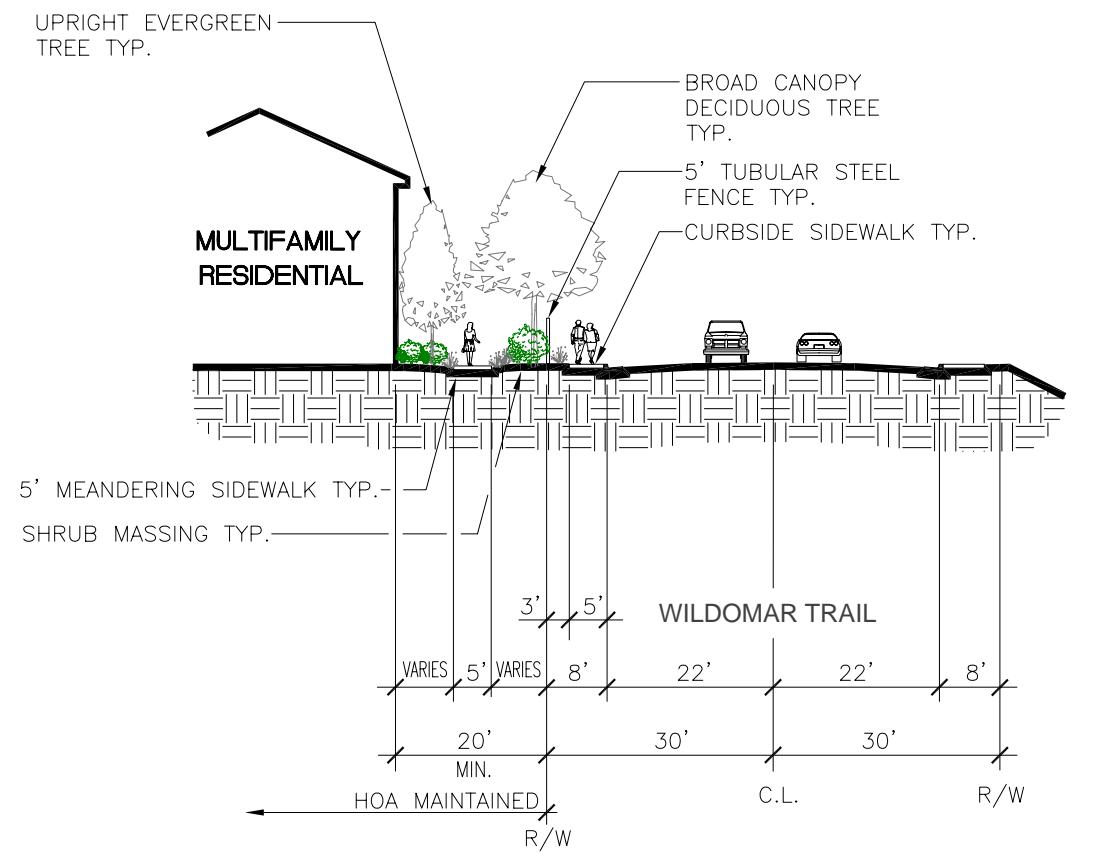


FIGURE 4-2



*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale

STREET SECTIONS  
INLAND VALLEY DRIVE &  
OAK SPRINGS ROAD



FIGURE 4-3



*This page intentionally left blank.*

# OAK SPRINGS RANCH

## LEGEND

 Internal Private Drive



## INTERNAL PRIVATE DRIVE PLAN

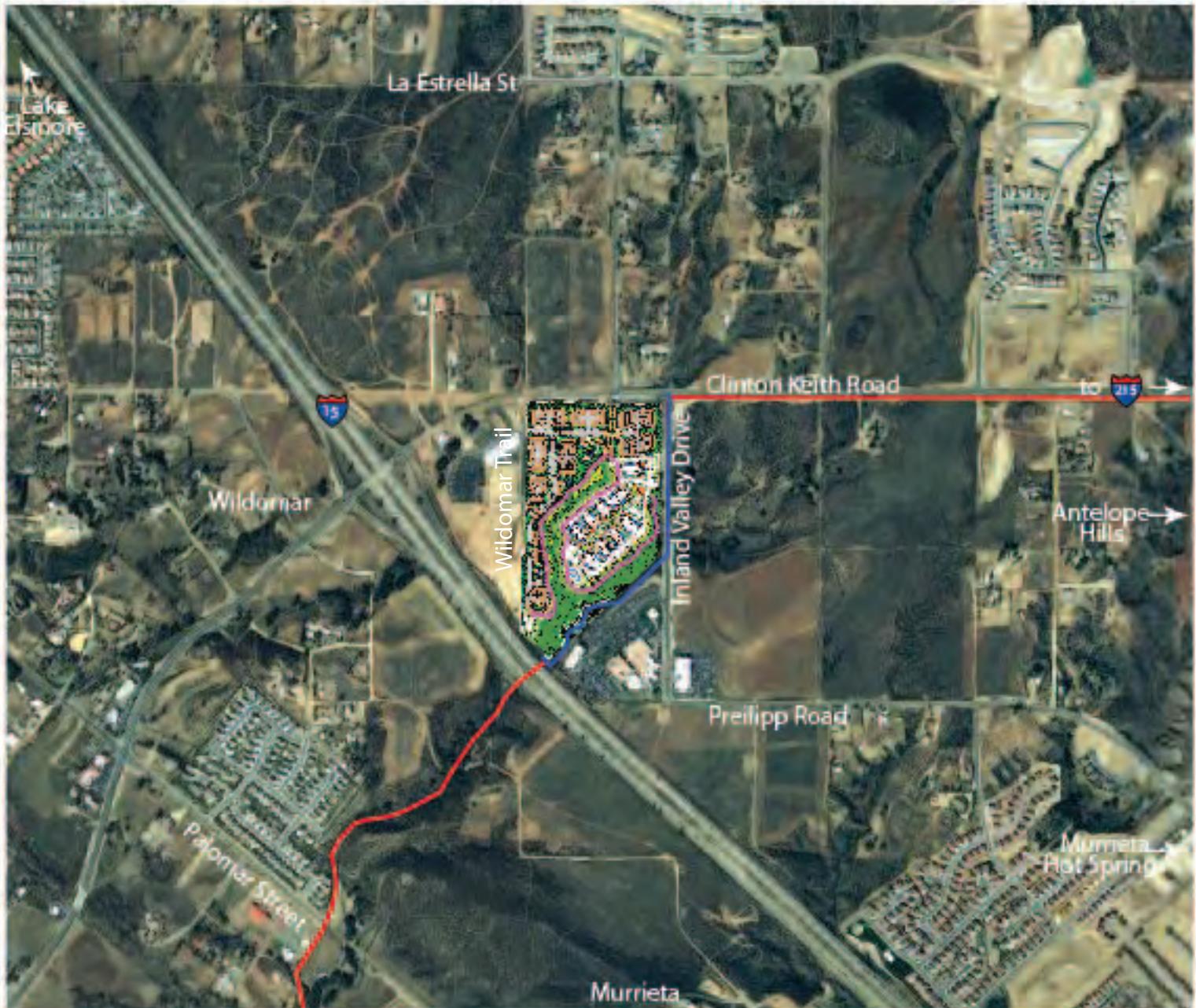


FIGURE 4-4



*This page intentionally left blank.*

# OAK SPRINGS RANCH



## LEGEND

- General Plan Community Trail
- Proposed Project Trail
- Perimeter Multi-Purpose Trail

## COMMUNITY TRAIL PLAN



not to scale



FIGURE 4-5

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*



## 5.0 PUBLIC FACILITIES & PHASING

### 5.1 Water Distribution

Elsinore Valley Municipal Water District (EVMWD) will provide water service to the development area covered by the Oak Springs Ranch Specific Plan (Plan Area). Domestic water will service the residential and common landscape areas of the Oak Springs Ranch Specific Plan (Specific Plan or Oak Springs Ranch). EVMWD draws water to supply their service areas from stream flows in the San Jacinto River region, Canyon Lake and from numerous wells within the Elsinore Valley groundwater basin. EVMWD infrastructure consists of reservoir tanks, booster pump facilities and a network of pipeline facilities to deliver water throughout its service area.

The primary connection points available for the Plan Area are located in both Wildomar Trail and Inland Valley Drive, as shown on Figure 5-1, *Water Plan*. The primary source of water will be provided by connecting to existing 12-inch mains located along Wildomar Trail and Inland Valley Drive, which are fed by an 18-inch transmission main in Clinton Keith Road.

Within the internal roadways of the Plan Area, 8-inch lines designed to EVMWD standards will provide domestic service to each proposed residence as well as supplying sufficient water flows to fire hydrants, which will be placed in accordance with Riverside County Fire Department standards.

### 5.2 Sewer Services

EVMWD is responsible for the collection of wastewater for the Plan Area. In accordance with a study performed by Kennedy/Jenks Consultants (April 5, 2004), EVMWD determined that the recommended improvements to the existing collections system, required only in the ultimate (build-out) conditions, will be the same regardless of the impact of the wastewater flow generated by Oak Springs Ranch.

An existing 18-inch gravity main sewer line in Clinton Keith Road will convey wastewater flow generated by Oak Springs Ranch to the McVicar lift station (see Figure 5-2, *Sewer Plan*).

The Plan Area will be served by 8-inch gravity sewers flowing to the southerly end of the Plan Area to two lift stations, one for each of the multifamily areas. The lift stations will collect and pump the wastewater flows through a 6-inch force main to the aforementioned 18-inch gravity sewer line in Clinton Keith Road. Sewage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the Riverside County Health Department.



## 5.3 Drainage Plan

The development area covered by the Specific Plan (Plan Area) is located at the southwest corner of Clinton Keith Road and Inland Valley Drive in the City of Wildomar (City), Riverside County (see Figure 1-2, *Local Vicinity Map*). The Plan Area encompasses 48.15 acres. Proposed onsite improvements consist of the construction of multifamily dwelling units on approximately 33.8 acres. The remaining 14.35 acres will remain undeveloped open space and utilized for conveying on- and off-site drainage.

### 5.3.1 Hydrology

#### 5.3.1.1 Off-Site Existing Conditions

Under existing conditions, the Plan Area accepts runoff from off-site areas at several locations. Two culverts enter the Plan Area at the same location on Clinton Keith Road, approximately 300 feet west of Inland Valley Road. The tributary area at this point is approximately 299 acres. The calculated 100-year peak flow rate at this location is approximately 570 cubic feet per second (cfs). Under existing conditions, this runoff travels to the southwest corner of the Plan Area via natural drainage channels.

Flows also enter the Plan Area from Inland Valley Drive. Two culverts convey offsite flow into the existing drainage course on-site. The total off-site area that is tributary to both culverts is approximately 310 acres. The calculated 100-year peak flow rate is approximately 554 cfs. These flows also continue to the southwest corner of the Plan Area.

Off-site drainage areas were acquired from Riverside County Flood Control topography maps. Off-site areas are assumed to be natural conditions. The off-site soil type is predominately "D" with smaller areas of soils "C" and "B". Soil type "D" was used for offsite areas to yield a conservative peak flow rate.

#### 5.3.1.2 On-Site Existing Conditions

Under existing conditions, runoff from the Plan Area generally drains to the two natural drainage courses that traverse the Plan Area. All flow discharges from the Plan Area at an existing pipe culvert located under Interstate 15 (I-15). Including all off-site areas, the 100-year peak flow rate at I-15 is approximately 1148 cfs.

The existing condition peak flow rates for the Plan Area were also calculated to determine allowable peak flow rates for developed conditions. The respective 10- and 100-year peak flow rates for the Plan Area were calculated at 37.7 cfs and 66.2 cfs.

The Riverside County Rational Method program (Bonadamins CivilD) was used for the hydrology calculations. The Plan Area is composed of soil type "B" per the Riverside County Hydrology Manual (see Figure 2 of the manual).

# OAK SPRINGS RANCH

## LEGEND

	Existing Water Main
	Proposed Water Main 8"
	Fire Hydrant



INLAND VALLEY DRIVE

0' 50' 100' 200' N

## WATER PLAN



FIGURE 5-1



*This page intentionally left blank.*

# OAK SPRINGS RANCH

## LEGEND

 Existing Sewer Lines 18" SS  
 Proposed Sewer Lines 8" SS



## SEWER PLAN



FIGURE 5-2



*This page intentionally left blank.*



### 5.3.1.3 On-Site Proposed Condition

A large portion of the natural drainage course that traverses the Plan Area from north to south will remain unchanged. The northerly portion of this drainage channel will be filled with a proposed storm drain conveying off-site flow through the Plan Area. The existing channel adjacent to the southernmost property line will remain unchanged. Under proposed conditions, overall drainage areas to the existing natural drainage courses will remain relatively unchanged. However, with proposed improvements, areas outside of the natural drainage course will discharge to the channels at controlled points.

In general, runoff from the area west of the existing north/south drainage course will be conveyed to the southwest corner of the Plan Area via an on-site storm drain system (see Figure 5-3, *Drainage Plan*). Runoff from the northeast corner of the Plan Area will drain to the proposed storm drain that will carry off-site flow through the Plan Area. Runoff from the proposed multifamily housing area in Planning Area 2 will drain to the channel at one location via on-site storm drain. Off-site runoff tributary to the Plan Area from Inland Valley Road will continue to drain to the Plan Area in the existing drainage course. All flow from off- and on-site areas discharge under I-15 via an existing 120-inch pipe culvert.

### 5.3.2 Detention Analysis

For planning purposes, the Riverside County Flood Control and Water Conservation District requires that the difference in volume between the existing and proposed conditions be capable of being detained on-site for the 10-year event. Under the proposed conditions, runoff from the improvements will drain to the channel at two different locations (see Figure 5-3).

Hydrographs for proposed conditions were generated at the various points of discharge using Bonadamins CivilD flood program. Lag time was calculated using the rational method time of concentration. Recommended defaults in the computer program were used for soil loss rates appropriate to the land use. A 5-minute interval for the 24-hour storm (10-year) was selected. The same parameters were used for the existing condition, with the exception of the use of the undeveloped loss rates. This yielded a hydrograph that would approximate existing conditions with the same area. Adequate area has been set aside for detention purposes. The volume expected to be detained is the difference between onsite existing and proposed conditions 24-hour hydrographs (10-year).

#### 5.3.2.1 Utilities

The Plan Area will be served with telephone, cable, internet (data), electricity, natural gas, and solid waste collection from private companies as detailed below in Table 5-1.

**Table 5-1**  
**Utility Providers**

Electricity	Southern California Edison
Gas	So. Cal. Gas Company
Water	Elsinore Valley Municipal Water District
Sewer	Elsinore Valley Municipal Water District
Solid Waste	Waste Management of the Inland Empire
Telephone and Cable	Verizon and Time Warner



### 5.3.2.2 Police and Fire Protection

The Riverside County Sheriff's Department will provide law enforcement for the Plan Area. The Riverside County Fire Department (RCFD) will provide fire protection to the Plan Area (see Figure 5-4, *Fire Stations & School Sites Map*). More specifically, the Plan Area will be served by two RCFD stations located within the project vicinity, as follows:

- Fire Station #75 (Bear Creek) located at 38900 Clinton Keith Road, Murrieta, CA
- Fire Station #61 (Wildomar) located at 32637 Gruwell Street, Wildomar, CA

### 5.3.2.3 School Facilities

The Plan Area is located in the Lake Elsinore Unified School District (LEUSD) in the County of Riverside. The LEUSD contains three schools that would serve students of the Plan Area. The Ronald Reagan Elementary School is located at 25445 Porras Road and serves kindergarten through fifth grade. The David Brown Middle School is located at 21861 Grand Avenue and serves grades six through eight. The Elsinore High School is located at 21800 Canyon Drive and serves grades nine through twelve. The school site locations are depicted in Figure 5-4, *Fire Station & School Sites Map*. In addition to LEUSD public schools, prekindergarten and kindergarten services will be provided by "A Small World For Little People" day school, which is a private school.

### 5.3.2.4 Phasing

Development within the community of Oak Springs Ranch will occur in two phases, as shown in Figure 5-5, *Phasing Plan*. Construction of Oak Springs Ranch will be phased in a logical sequence in response to market demands. Ultimate phasing through the recordation of phased final tract maps will be finalized at time of sale. Adjustments to the phasing sequence are permitted provided that adequate utilities and public facilities are available to service the phase in question.

- The project proponent indicates that building construction will require approximately 15 to 18 months to complete. As indicated above, the buildings will be constructed in the following order:
- Site preparation and infrastructure improvements
- Phase 1: 312 multifamily apartment units (including open space area)
- Phase 2: 288 multifamily apartment units

Actual implementation of the development phases may overlap, depending on market conditions during the period the project is implemented. This does not affect the impact analysis conducted for and provided in the Environmental Impact Report, since it addresses the buildup of the Specific Plan as the most conservative forecasting methodology.

# OAK SPRINGS RANCH

## LEGEND

 Existing Storm Drain  
 Proposed Storm Drain



## DRAINAGE PLAN

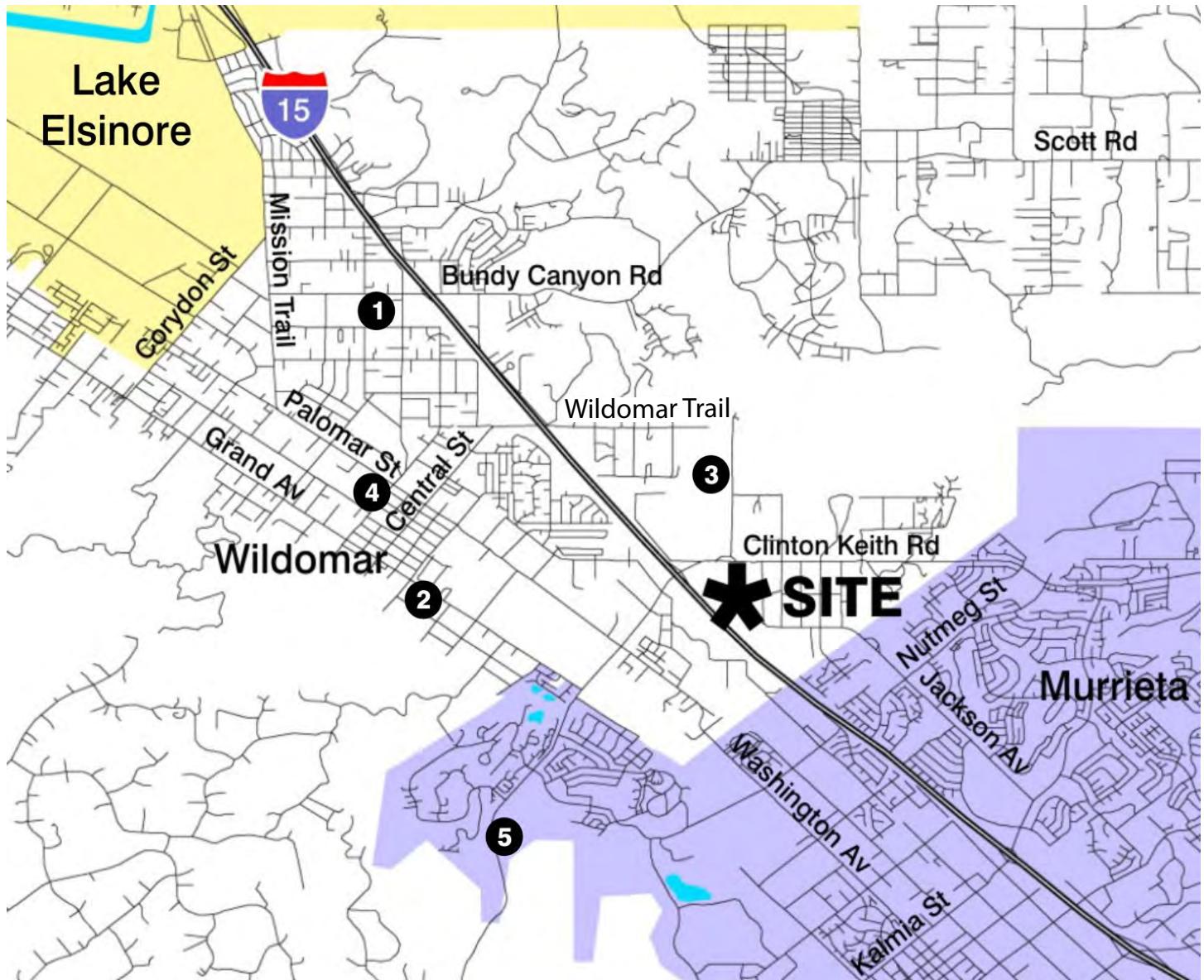


FIGURE 5-3



*This page intentionally left blank.*

# OAK SPRINGS RANCH



1. Elsinore High School
2. David Brown Middle School
3. Ronald Reagan Elementary School
4. Fire Station #61
5. Fire Station #75

FIRE STATIONS & SCHOOL SITES MAP



not to scale



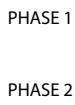
## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*

# OAK SPRINGS RANCH

## LEGEND



PHASE 1

PHASE 2



PHASE 1

PHASE 2

INLAND VALLEY DRIVE

WILDOMAR TRAIL

CLINTON KEITH ROAD

TEMECULA FREEWAY



PHASING PLAN



FIGURE 5-5



*This page intentionally left blank.*



## 6.0 COMPREHENSIVE MAINTENANCE PLAN

---

The development area covered by the Specific Plan (Plan Area) is made up of two separate and distinct (but complimentary) residential neighborhoods, both consisting of multifamily attached products. In addition to the residential development, there is a natural habitat open space that divides the two residential project areas (see Figure 3-1, *Land Use Plan*). It is important, however, to ensure that the quality of the Plan Area and related improvements are maintained long term. To accomplish this will require that each multifamily development area and the natural open habitat be owned and maintained by the underlying property owner. The public rights of way (ROW) will be included in a Landscaping and Lighting Maintenance District (LLMD); therefore, the landscape improvements within the ROW will be maintained by the LLMD. Figure 6-1, *Maintenance Responsibility Plan*, illustrates the LLMD and privately maintained areas.

### 6.1 Residential Property Maintenance

Each multifamily development area (Planning Areas 1 and 2) shall be owned and maintained by the underlying property owner.

### 6.2 Project Roadways

All public roadways and private streets will be designed and constructed to City of Wildomar standards. Parkway greenbelts will be maintained by the property owner and/or its agent of the multifamily development areas (Planning Areas 1 and 2).

### 6.3 Open Space and Parks

The common open and park spaces within the multifamily development areas (Planning Areas 1 and 2) shall be maintained by the property owner and/or its agent. The natural open space habitat located within Planning Area 3 will be owned and maintained by the underlying property owner.

## OAK SPRINGS RANCH SPECIFIC PLAN

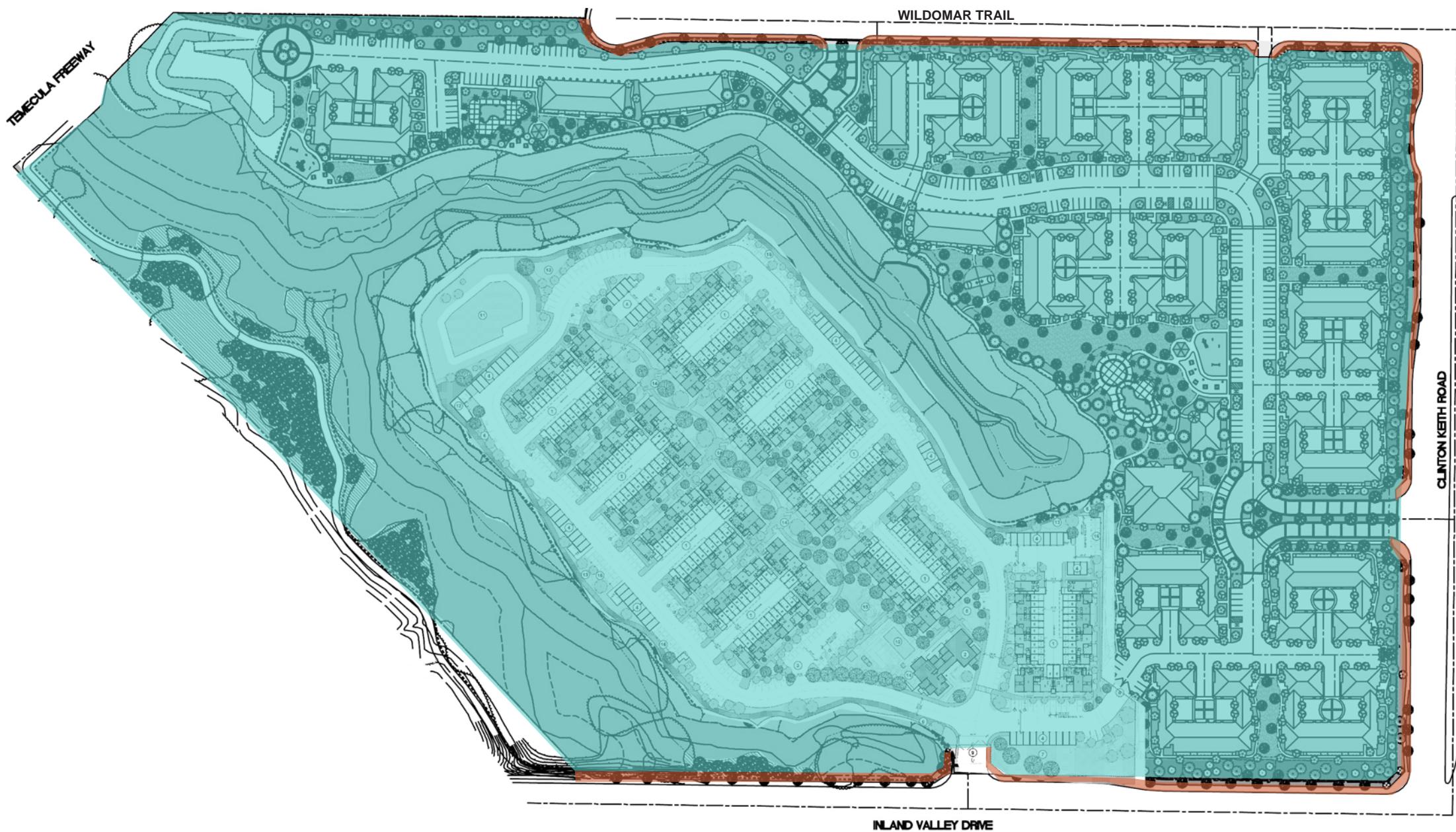


*This page intentionally left blank.*

# OAK SPRINGS RANCH

## LEGEND

	Property Owner Maintained
	Landscape and Lighting Maintenance District



not to scale



## MAINTENANCE RESPONSIBILITY PLAN



FIGURE 6-1



*This page intentionally left blank.*



## 7.0 DESIGN GUIDELINES

The design guidelines provide general criteria for architecture, landscaping, entry monumentation, and lighting design in order to ensure a high-quality development and strong community character. The overall goal of the design guidelines is to create a unique master-planned community nestled around an undisturbed natural open space with scattered oak trees and blue-line stream, all within the City of Wildomar (City). This Specific Plan recognizes that the development of Oak Springs Ranch will play a vital role in the growth of City and provide valuable housing opportunities for persons not able to purchase a home.

These guidelines are intended to provide criteria for design while allowing flexibility for architects, landscape architects, developers, builders, and others involved in the design of community elements. Variation and customization by a builder within the context of the guidelines is encouraged to achieve individually distinctive neighborhoods complemented by recreational components and linked together with pedestrian paseos. Through collaboration and cooperation between the master developer, builder(s), and City, the Oak Springs Ranch master-planned residential community is destined to become a successful and desirable addition to the City.

The specific objectives of the design guidelines are to:

- Provide guidance to builders, engineers, architects, landscape architects, and other professionals in order to obtain a high quality of design.
- Provide a framework for the formation of Covenants, Conditions and Restrictions (CC&Rs) for the use of land in the specific plan area.
- Provide the City of Wildomar with the necessary assurances that the community of Oak Springs Ranch will be developed in accordance with a certain quality and character as set forth in this document.

The design guidelines are intended to be flexible and work in concert with the development standards contained in Chapter 8 of this Specific Plan. These guidelines establish principles that will ensure the quality of development and the community landscape and its character. These guidelines and the values they contain shall be followed in the design and build-out of the community. These guidelines should not be viewed as optional.

### 7.1 Development Guidelines

Specific development guidelines have been developed for Planning Areas 1 and 2 to assure compatibility and continuity within the development area covered by the Specific Plan (Plan Area) as well as other



developments in the Plan Area. A combination of the following guidelines should be incorporated to ensure Oak Springs Ranch is developed as a quality community that provides a variety of housing types, preserves the natural environmental features, and is a pedestrian-oriented community that integrates into the City:

- A. Design a community that considers the topographic, geologic, and hydrologic opportunities and constraints of the land.
- B. A community that reflects anticipated marketing needs and public demand by providing a range of housing types, which will be marketable within the developing economic profile of the City of Wildomar.
- C. Provide planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- D. Incorporate connectivity through pedestrian trails, paths, or sidewalks throughout the Plan Area and the adjacent community.
- E. Create a high standard in neighborhood design and implement it consistently over an entire new community, creating an identifiable and unique place.
- F. Create neighborhood designs that integrates architecture, site planning, and landscaping.
- G. Incorporate a variety of recreational and open space areas in the Plan Area. The recreation areas should offer a variety of active and passive uses. The open space areas should also provide a variety of amenities from manmade landscape features to the existing riparian habitat and native planting on-site.
- H. Protect natural features and views of the environmentally sensitive features of the Plan Area.
- I. Create interfaces connecting contrasting boundaries between distinctly different characteristics of existing neighborhoods.





- J. Create a distinct sense of neighborhood and place by designing attractive and comfortable street scenes and street spaces.
- K. Plan and design streets that are visually integrated into the landscape by giving consideration to the natural topography and natural features of the Plan Area.
- L. Design communities that incorporate neighborhood parks, trails, and open spaces.
- M. Apply 360-degree architecture on all building façades, with higher emphasis on façades visible from streets or open space areas.
- N. Design neighborhoods that integrate with the regional alternate transportation system including bus and bicycle systems.

## 7.2 Massing Criteria and Site Planning Concepts

Careful consideration has been given to the architectural design and plotting concepts of Oak Springs Ranch. The proper siting, location, and massing of the structures are instrumental in creating the appropriate neighborhood framework and preserving the natural and environmentally sensitive riparian habitat in the Plan Area. The general plotting concept, as shown on Figure 3-2, *Land Use Plan*, is flexible in terms of layout, location, and specific product orientation, as long as the overall project density and residential mix are maintained, and the riparian habitat is preserved.

The following residential design guidelines are encouraged in order to achieve the desired community setting and street scene for a quality neighborhood.

- A. **Shortening streets and providing parkway-separated sidewalks when possible.** All local streets shall have parkway-separated sidewalks creating continuous street-tree planting strips between the curb and sidewalk. The distance between back of curb and sidewalk will vary depending on lot size. It will be the builder's responsibility to plant trees in accordance with the Landscape Palette contained in this chapter, and the Landscape Plan (see Figure 7- 12). By utilizing short street segments, traffic will be calmed, and distinct special places will be created within the neighborhoods.
- B. **Minimizing the visual impact and prominence of the garage.** It is critical to deemphasize the presence of the garage by providing alley-loaded products or by recessing garages if they are located on front façades. Entries, landscaping, porches, windows, and living areas should be incorporated into the design of the home to minimize the visual prominence of the garage. These methods will provide a traditional street scene by exposing greater amounts of habitable architecture to the street.
- C. **Giving attention to composition of the building mass.** Interior uses, architectural style, and sensitivity to the community's overall visual impact are all results of building mass distribution. Maintaining a proportional relationship between architectural mass and form, the street, pedestrian spaces, adjacent lots, and plotting conditions will result in a sense of variety.
- D. **Stepping back second stories.** The street scene shall be improved by stepping back the second story mass. A flat façade will be avoided by articulating the mass with a series of recessed and protruding



architectural elements such as balconies, gables, awnings, windows, dormers, and first-story roof lines. Minimizing the mass of the second story will promote the visual character of the first story and reduce the dominance of the second story.

- E. **Varying the roof planes.** Multiple approaches to the design and framing of roof lines is essential to a positive visual impact of an overall project. A variation of height and prominence of all horizontal planes will promote a street scene exclusive of identical home silhouettes.
- F. **Authenticity of architectural styles.** Design solutions shall be developed to accurately define the selected architectural styles. Approaches need to provide authenticity to the materials, methodologies, construction, and design of such proposed styles while allowing for an artistic and creative interpretation of these styles.

### 7.3 Grading Criteria

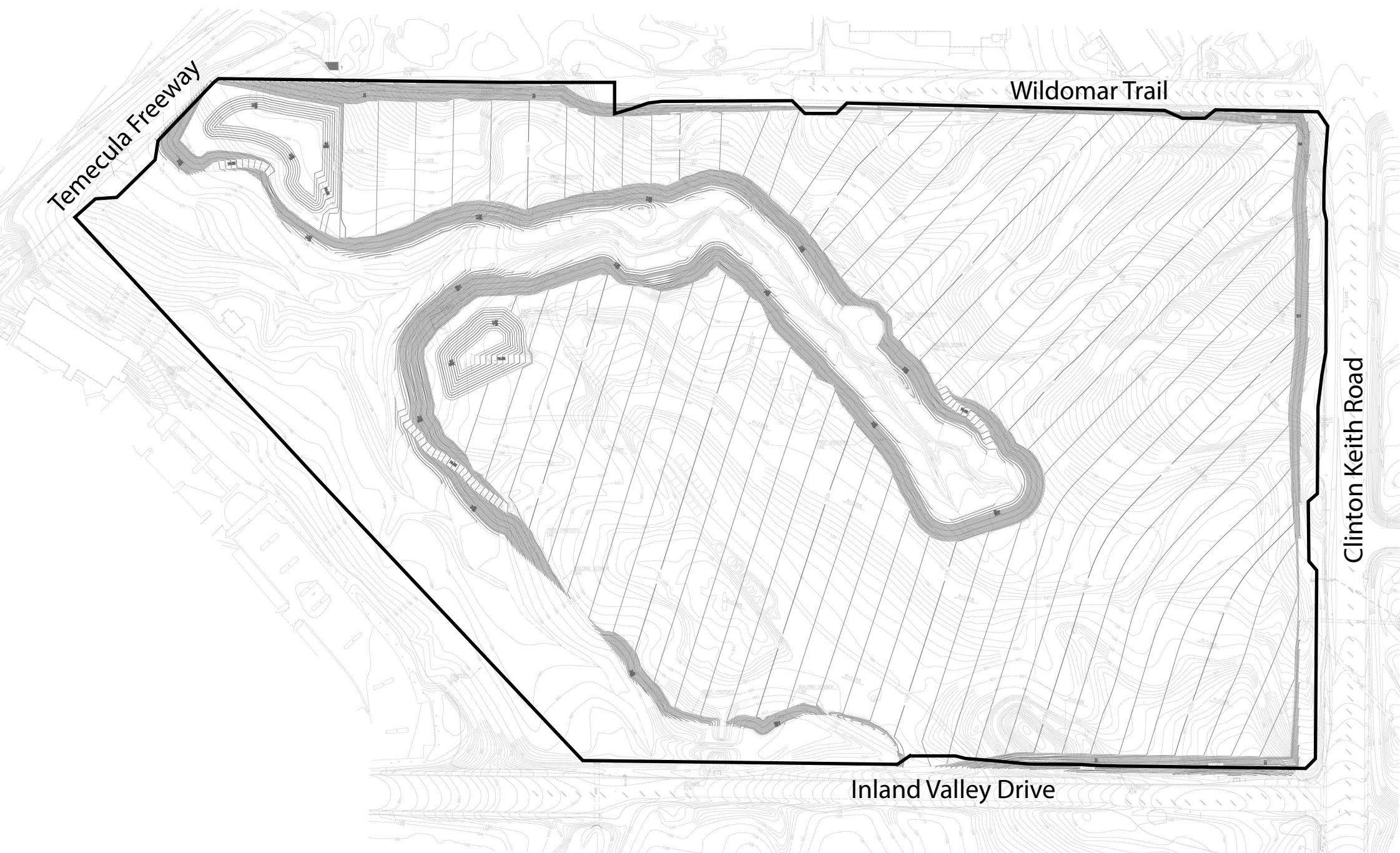
Grading is tailored to the existing topography of the Plan Area. Soils and geologic conditions present no significant constraints to grading. The primary objectives of the grading concept are to: a) establish road grades that are consistent with those of the existing streets around the Plan Area; b) provide stable development pads for residential structures and recreational amenities; and c) balance the cut and fill grading quantities on-site.

The Plan Area encompasses 48.15 acres. It is anticipated that roughly two-thirds of the Plan Area, approximately 33.8 acres, is to be graded (see Figure 7-1, *Grading Plan*). Initial estimates indicate that roughly 288,000 cubic yards of cut will be balanced with about 296,000 cubic yards of fill (the balance of fill representing expansion of the cut material). This quantity may vary as final grading plans are developed. It is anticipated that the development area of the Plan Area will be graded, and that little or no imported fill dirt or rock will be required. Grading of the Plan Area will occur in one phase. The grading plans shall be designed to accommodate drainage and a street system that meets City standards. Grading activities are anticipated to take place over a period of three to four months.

# OAK SPRINGS RANCH

## LEGEND

Existing Topography  
Proposed Grading



## GRADING PLAN



FIGURE 7-1

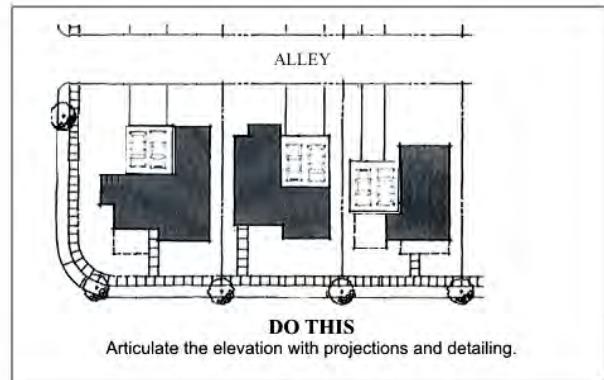
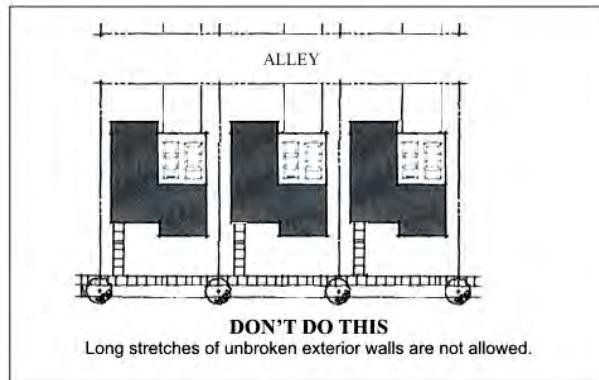
*This page intentionally left blank.*



## 7.4 Siting Criteria

Proper site planning is critical to achieve adequate placement of the structures and to ensure private spaces are provided for each resident. In addition, comprehensive site planning allows the project to provide private and public open spaces, trails, and pedestrian connectivity throughout the project site, as well as connection to the surrounding community. The following are sample criteria that should be implemented:

- A. Buildings should be placed with consideration given to the topographic and hydrologic environmental opportunities and constraints of the site.
- B. The riparian habitat open space (Planning Area 2) shall be protected and serve as a unifying element and natural landscape amenity within the project site.
- C. Buildings should be oriented to take advantage of the views of the riparian habitat and oak trees located on-site.
- D. Allocation of trails, open spaces, recreational areas, and transit facilities shall be incorporated into the overall site plan.
- A. Setbacks should be varied at entries and garage areas to create a variety of building footprints.
- E. Residential units should be oriented to maximize privacy between neighboring or adjacent units.
- B. Buildings should be sited to ensure pedestrian connectivity throughout the development and the adjacent community.





## 7.5 Fencing/Walls/Gates/Monuments

Walls, fences, and gates will be incorporated throughout Oak Springs Ranch to establish community identity, provide protection (e.g., noise nuisance) from roadways and recreation areas (e.g., swimming pools), and to provide privacy and security to residential areas. Locations of these walls, fences, and gates are illustrated in Figure 7-2, *Wall, Fence, & Monument Plan*.

Tubular steel, tubular steel with stone veneer pilasters, block walls with tubular steel gates, and two-rail polyethylene fences will occur throughout the Plan Area as illustrated in Figure 7-2. The developer shall install a tubular steel fence with stone veneer pilasters (provided every 30 feet on center) along Clinton Keith Road, Inland Valley Drive, and Oak Spring Road as shown on Figure 7-2. As illustrated in Figure 7-2, tubular steel fencing without pilasters will occur within the interior areas of the Plan Area, such as open space areas, trails, and the swimming pools. The two-rail polyethylene fence will be located adjacent to the community trail along Inland Valley Drive, as shown on Figure 7-2. Details of the various walls and fences are shown on Figure 7-3, *Wall & Fence Elevations*. Pedestrian and vehicular gated entries/exits are provided at all four project entries/exits as shown on Figure 7-2. Additional pedestrian gated entries/exits are provided at key locations along Inland Valley Drive, Clinton Keith Road, and Wildomar Trail. Details of the vehicular and pedestrian gates are shown on Figure 7-5, *Vehicular & Pedestrian Gates*. Enlarged details of the community entries/exits are shown on Figure's 7-6 through 7-9.

Where it is feasible, trees, vines, and shrubbery shall be used to screen the visual impact of the fences and walls along the publicly visible edges of the community. Walls or fences bordering the swimming pool areas shall be tubular steel and walls or fences fronting recreational, open or public spaces shall be tubular steel or tubular steel with stone veneer pilasters with masonry as shown on Figure 7-2. Along front yards and in situations where walls are visible from the street, walls and fences shall be designed and constructed of materials that are compatible with the surrounding architecture or use.

Entry and corner monuments serve several important purposes; therefore, careful consideration has been given to the design and location of the monuments (see Figure 7-2, *Wall, Fence, and Monument Plan*). The intent of the project monumentation design is to create visual gateways into Oak Springs Ranch and to provide aesthetically pleasing community identification and entry statements that highlight the distinctiveness of the community. Functionally, monuments may serve to display the project name, address, and possibly, builder. Entry monumentation shall not be taller than six feet, with the exception of the corner monument wall, which can be up to a maximum of eight feet in height, as shown on Figure 7-4, *Corner & Entry Monument Walls*. The Specific Plan provides for community entry monumentation at the Clinton Keith Road and Inland Valley Drive project entries and a corner monument wall at the Clinton Keith Road/Wildomar Trail intersection, as shown on Figure 7-2. All walls shall be designed and constructed of a material, design, and color to be compatible with the adjacent architecture.

# OAK SPRINGS RANCH



WALL, FENCE & MONUMENT PLAN

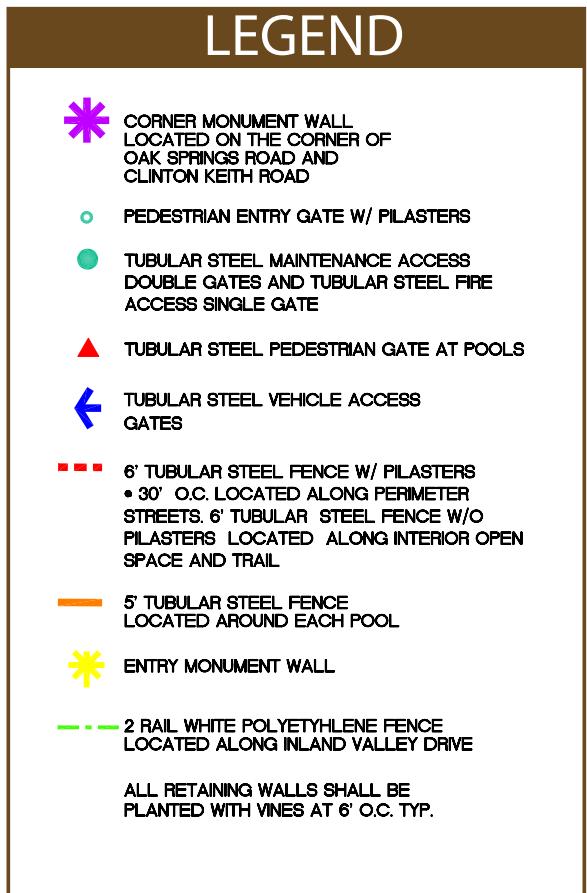
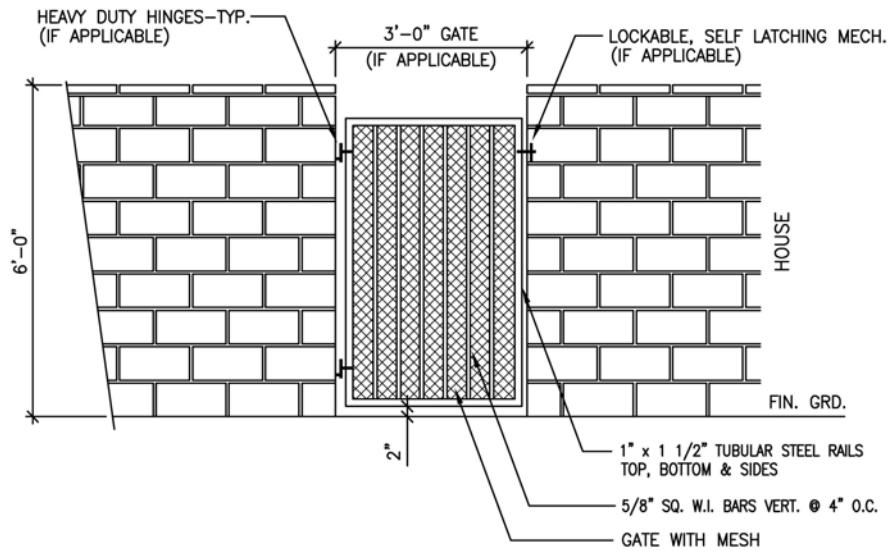


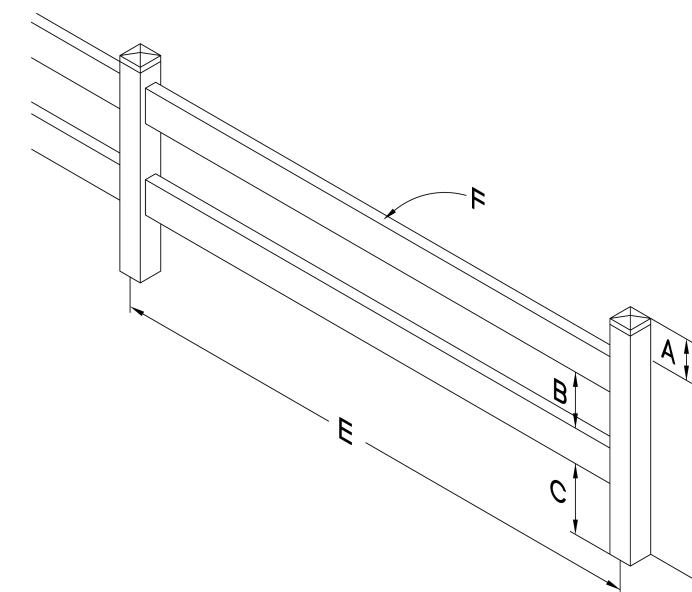
FIGURE 7-2

*This page intentionally left blank.*

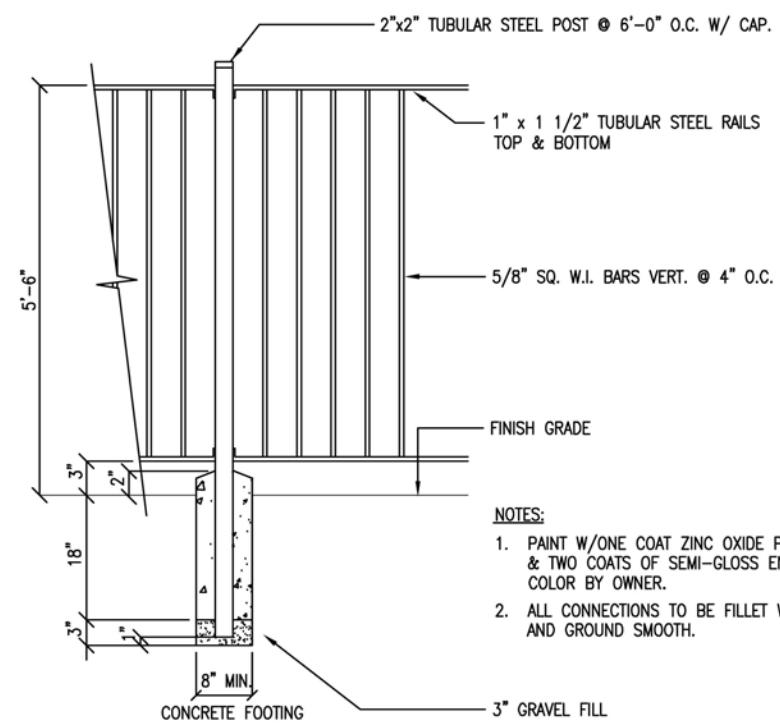


BLOCK WALL WITH TUBULAR STEEL GATE

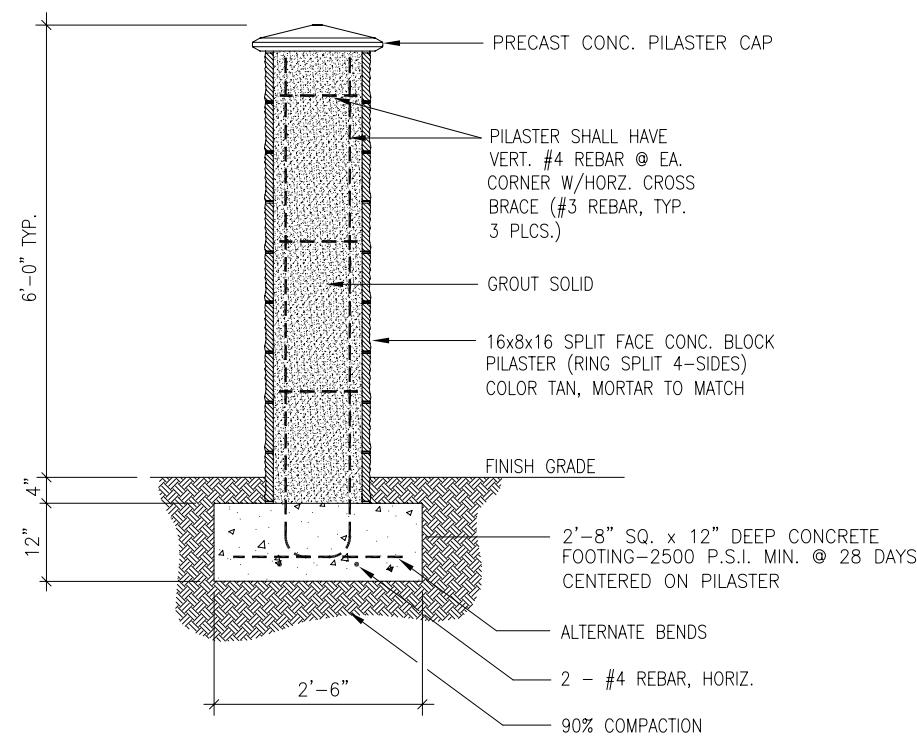
Note: Block wall shall be decorative.



TWO-RAIL POLYETHYLENE FENCE



TUBULAR STEEL FENCE



TUBULAR STEEL FENCE PILASTER

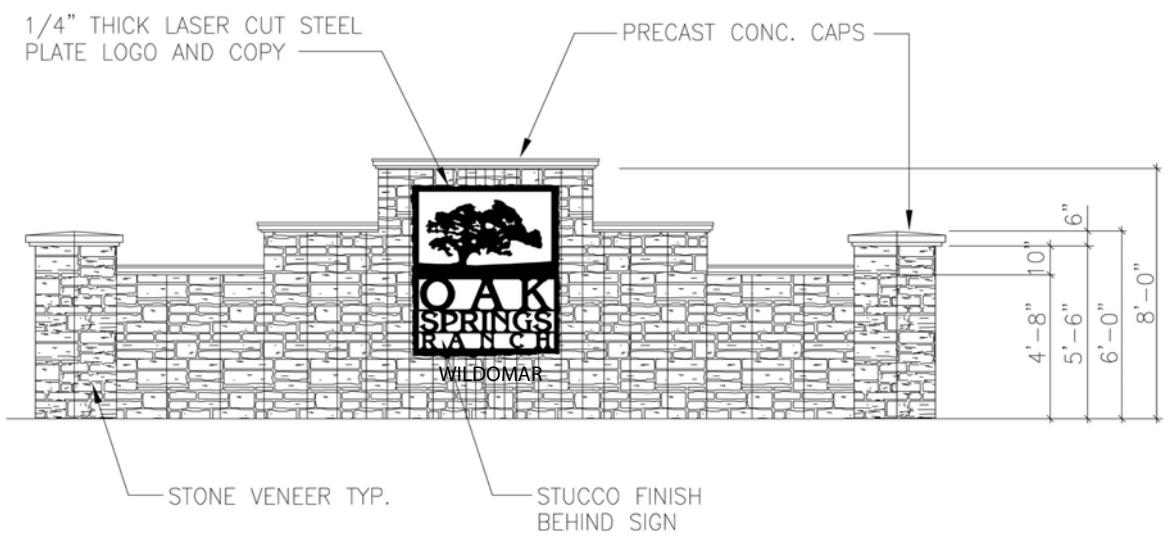
WALL & FENCE ELEVATIONS



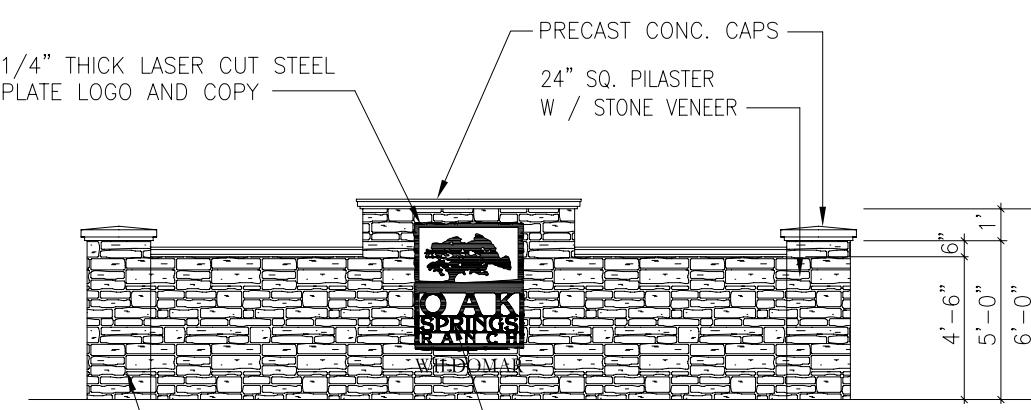
FIGURE 7-3

*This page intentionally left blank.*

# OAK SPRINGS RANCH

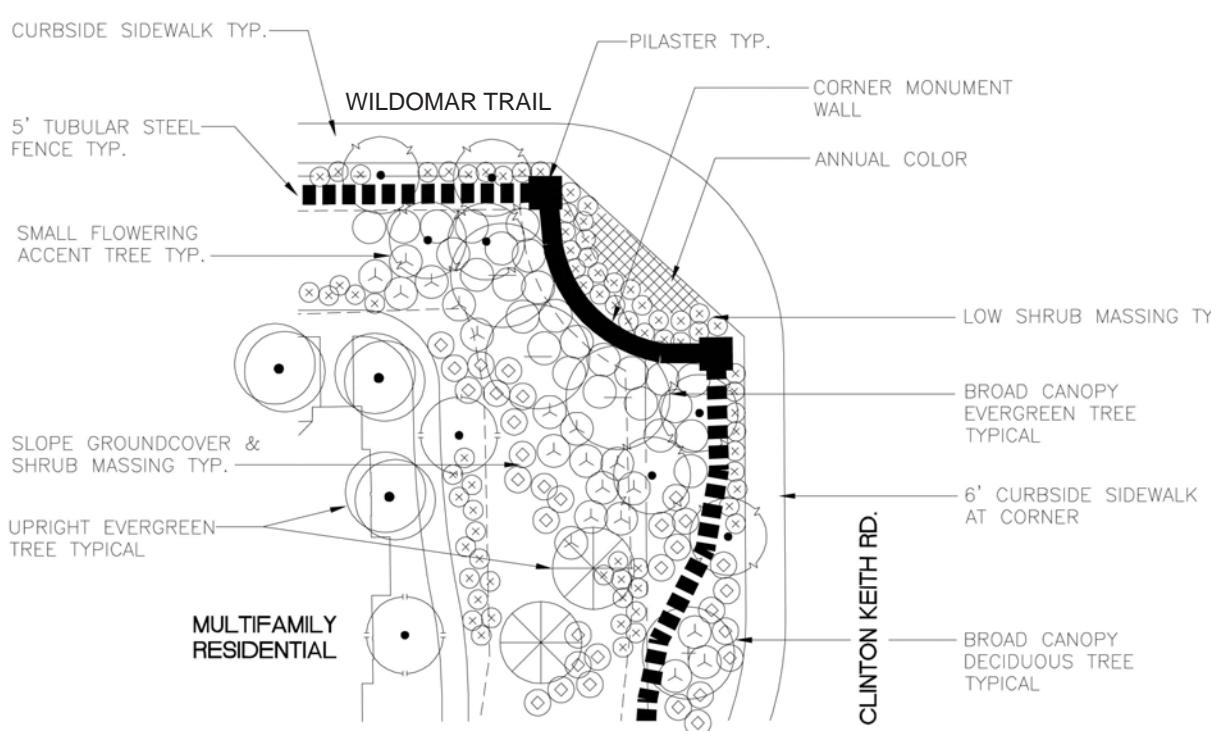


CORNER MONUMENT WALL



NOTE:  
MONUMENT SHALL BE  
ILLUMINATED BY (3) 13W  
DIRECT BURIAL PRECAST  
CONCRETE FLOODLIGHTS.

ENTRY MONUMENT WALL



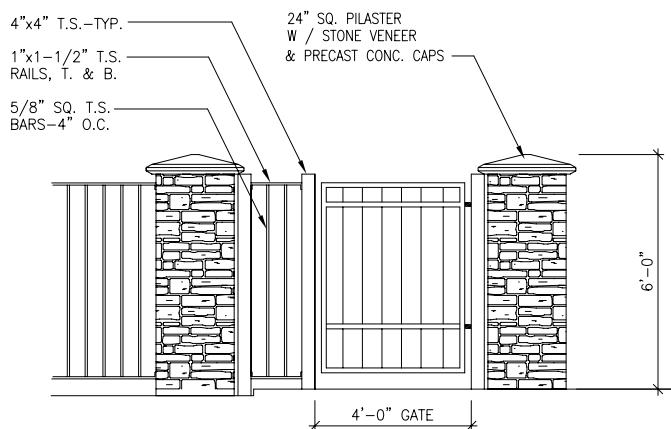
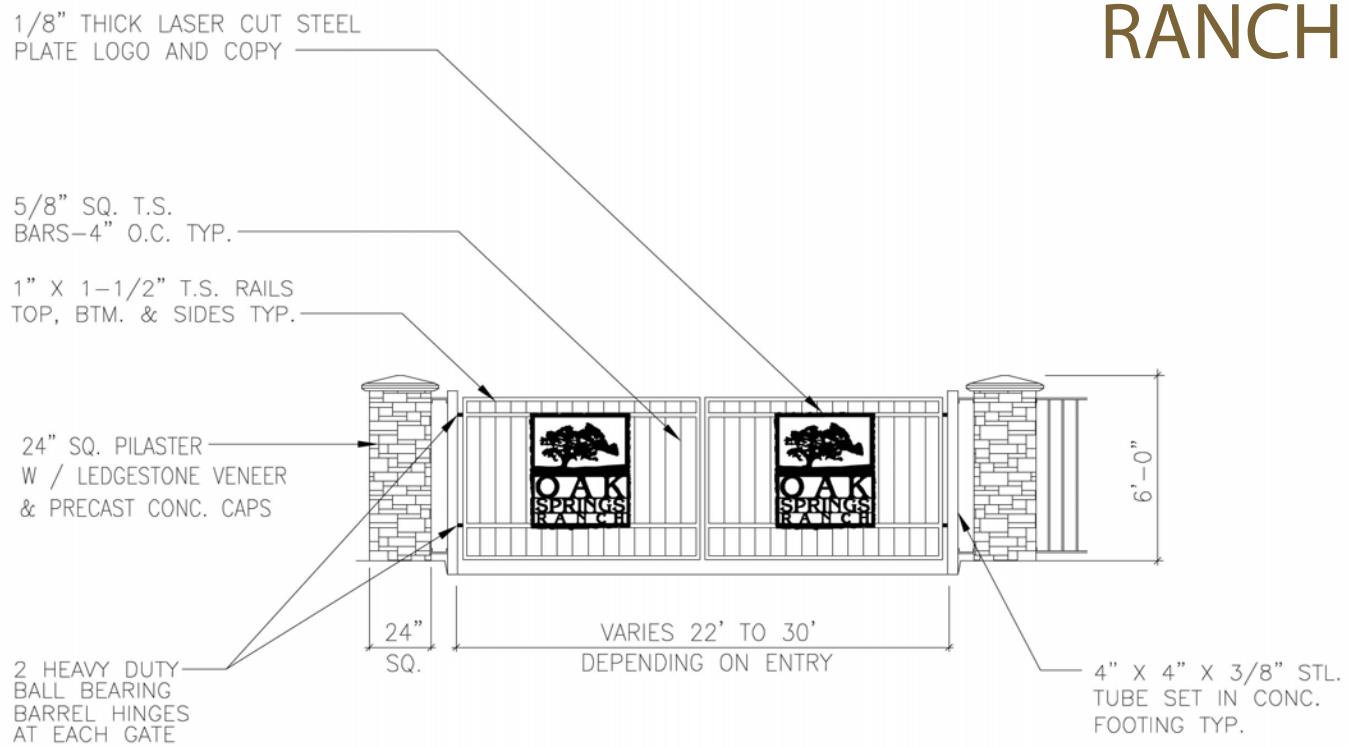
CORNER & ENTRY MONUMENT WALLS



FIGURE 7-4

*This page intentionally left blank.*

# OAK SPRINGS RANCH



## VEHICULAR & PEDESTRIAN GATES

not to scale



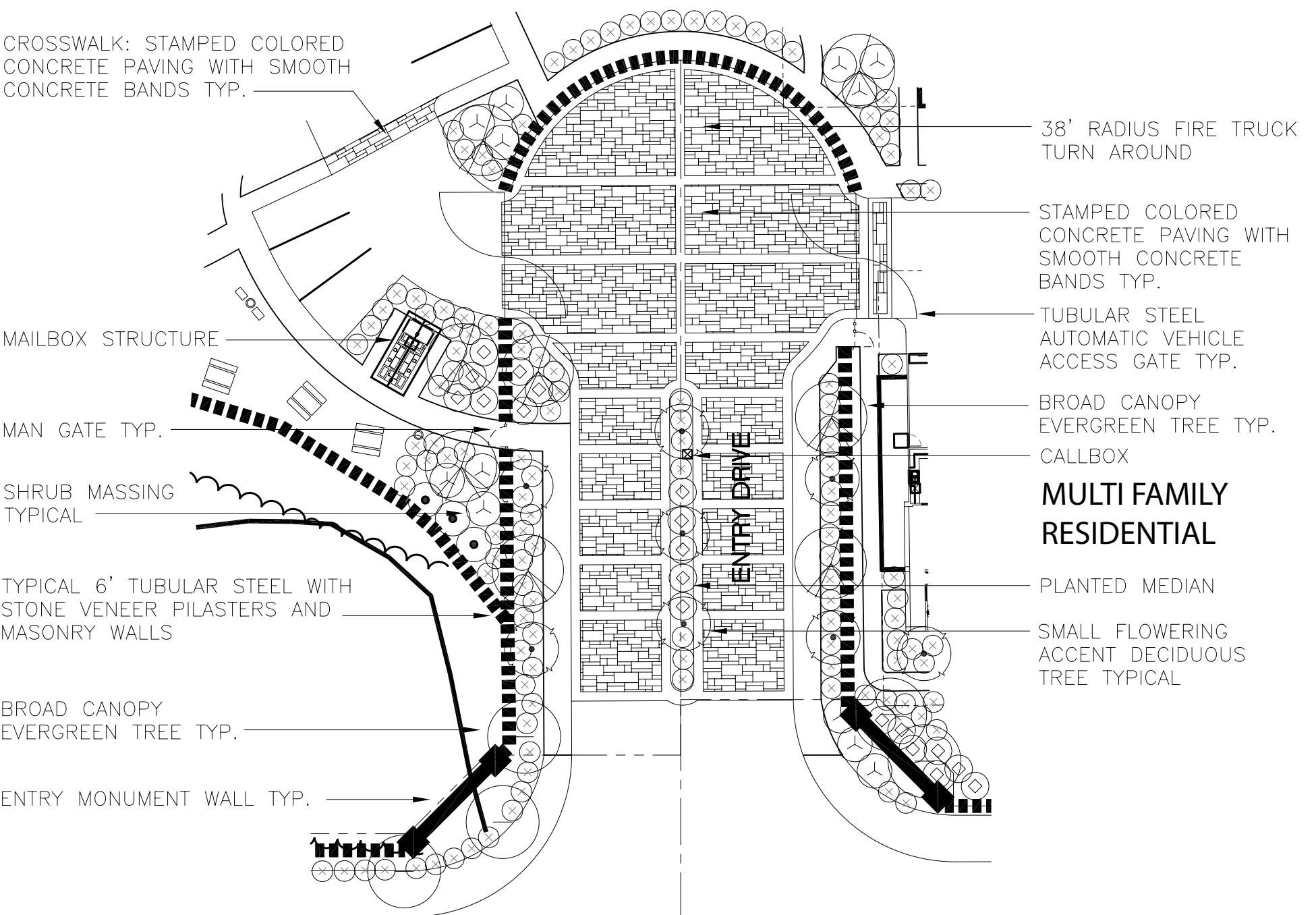
FIGURE 7-5

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale 

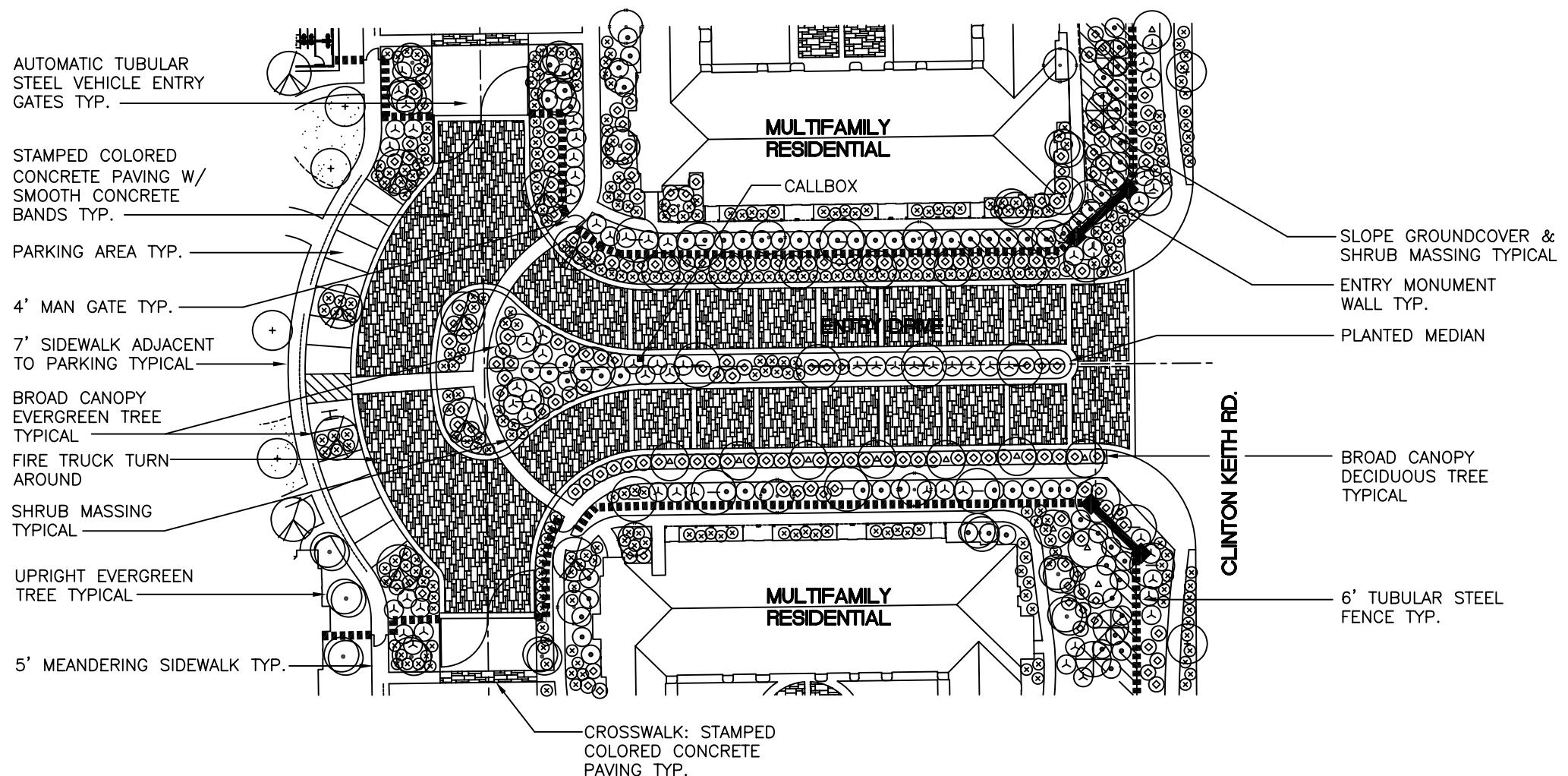
COMMUNITY ENTRY -  
INLAND VALLEY DRIVE



FIGURE 7-6

*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale 



Key Map

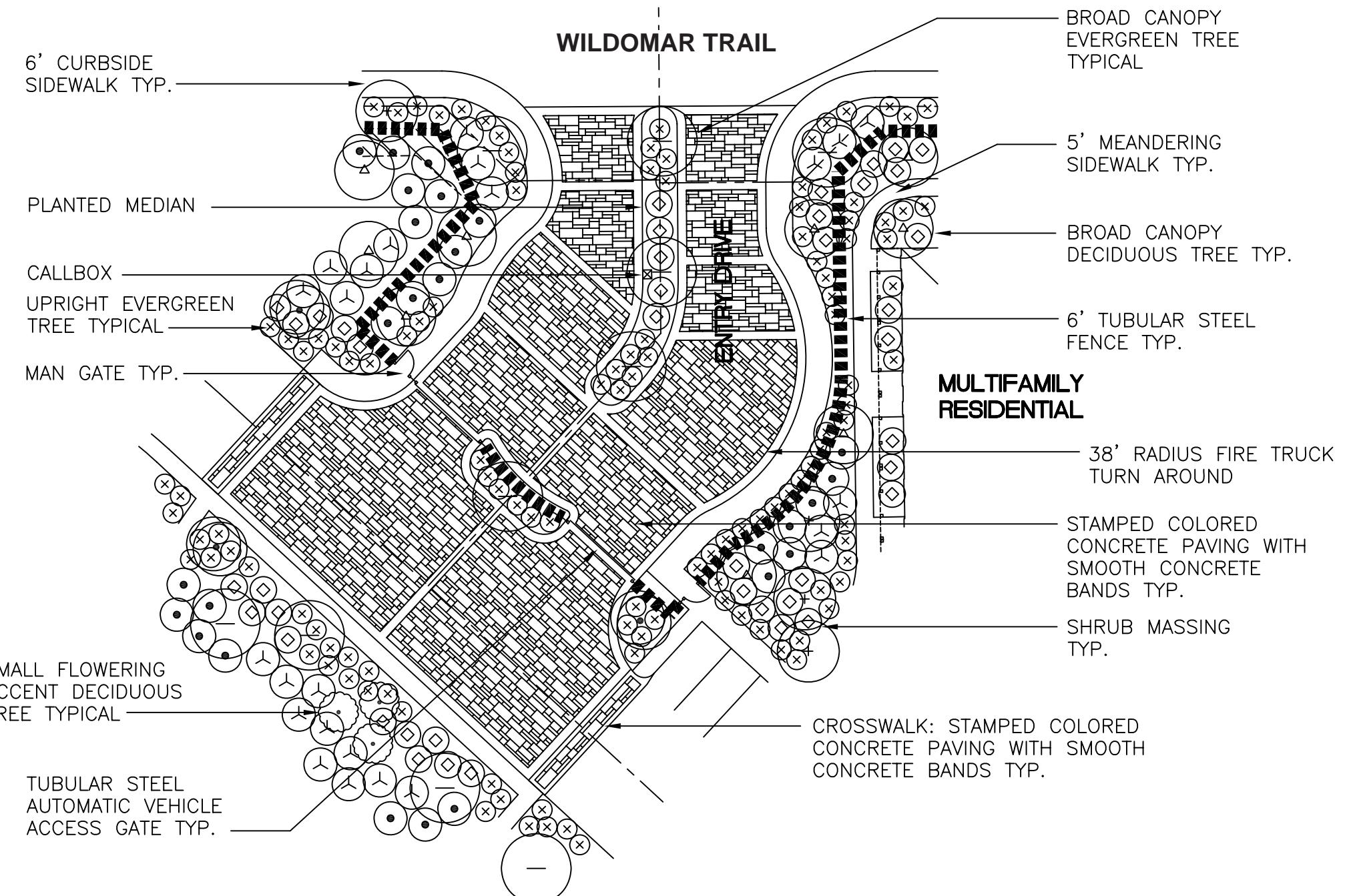
COMMUNITY ENTRY - CLINTON KEITH ROAD



FIGURE 7-7

*This page intentionally left blank.*

# OAK SPRINGS RANCH



not to scale



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.



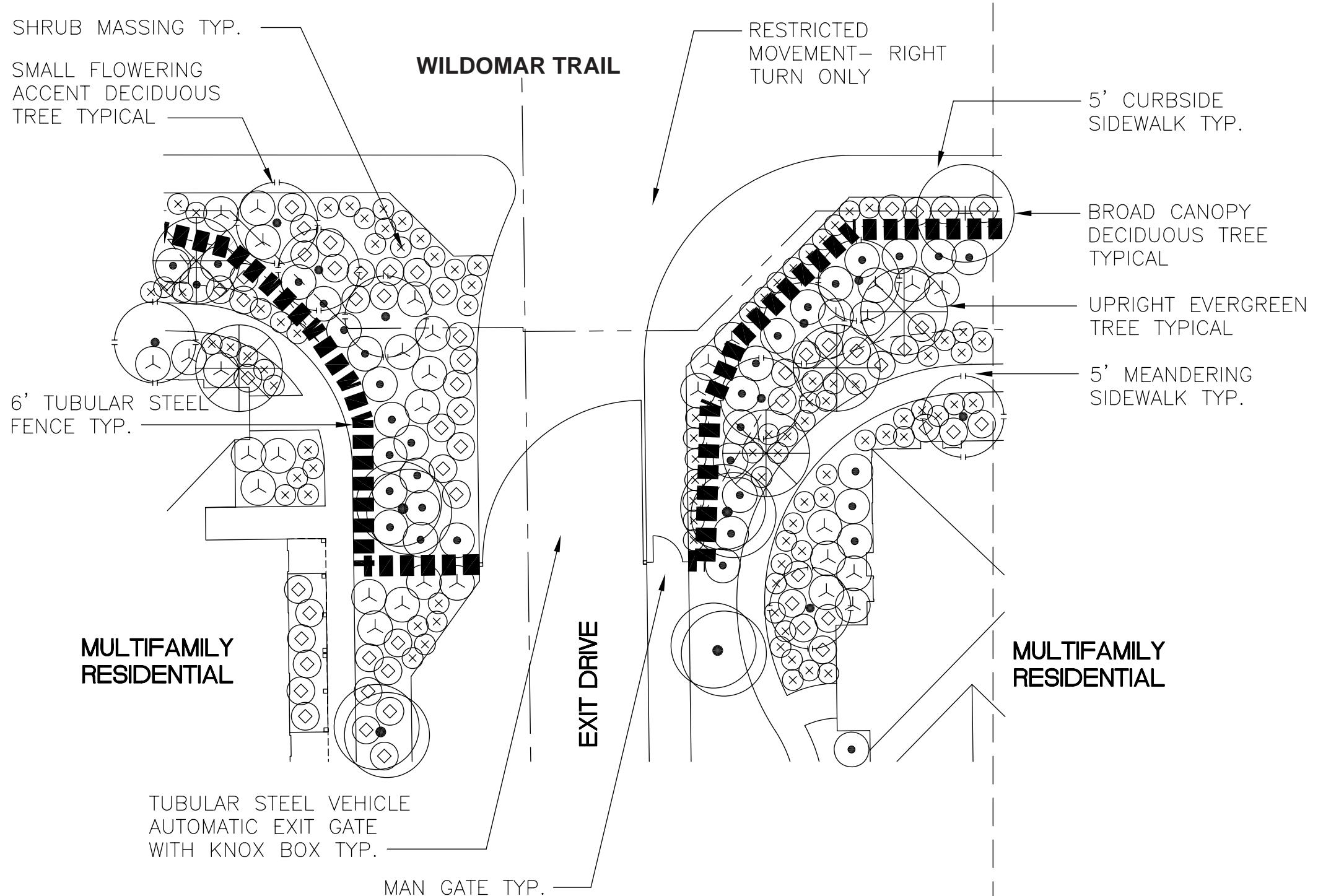
COMMUNITY ENTRY - WILDOMAR TRAIL



FIGURE 7-8

*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale N

## COMMUNITY ENTRY - WILDOMAR TRAIL



FIGURE 7-9



*This page intentionally left blank.*



## 7.6 Architectural Features

### 7.6.1 Architectural Theme

The proposed architectural theme of the Plan Area allows for Craftsman, Shingle or Spanish architectural styles. These styles were selected because of their architectural quality and integrity. These architectural styles will establish a theme for the project, while maintaining continuity among the various architectural designs. The architectural character of individual development projects will enhance the architectural integrity of the surrounding community, while being sensitive to the natural and environmental features of the Plan Area. Phase 2 project area will be comprised of Craftsman style features.



#### *Craftsman Features*

- Low-pitched gables and or hip roofs
- Low concrete tile or composition roofing
- Window overhangs and exposed eaves
- Grouped windows, often with decorative enhancement
- Horizontal siding
- Sand or smooth stucco finish
- Blended stucco and siding
- Stucco with stone base
- Entry porches
- Pergolas
- Light or deep earth tone colors

#### *Shingle Features*

- High-pitched gables and or hip roofs
- Flat concrete tile or composition roofing
- Tight rakes and 12"-18" eaves
- Chimneys with detailed brick or stone veneer base with siding above
- Paired windows with strong window trims
- Decorative shingles and horizontal siding used without interruption, along with brick or stone veneer as accent
- Entry porches with articulated columns with wood or brick base, and decorative railing
- Balconies only as an accent (typically above entry)
- Light and deep grey and white tones

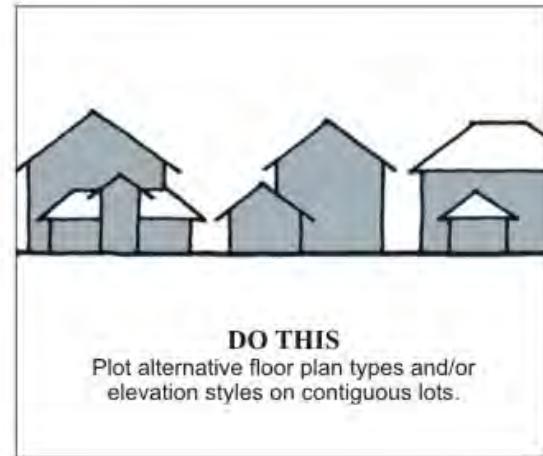


Figures 7-10a and 7-10b provide samples of quality architecture and design elements typically found in Craftsman and Shingle architectural styles. Additionally, the design guidelines found in Sections 7.6.2 through 7.6.6 contain guidelines that are typically found in Craftsman and Shingle Architecture. The guidelines are intended to be a guide and not a rigid formula for design or as a requirement to produce exact replicas.

### 7.6.2 Building Form, Mass, and Height

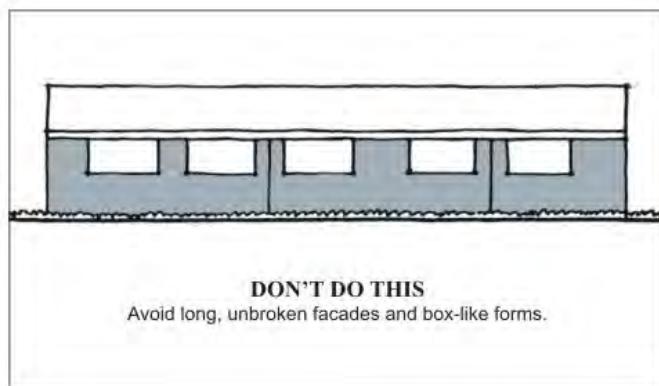
Buildings in Oak Springs Ranch will be designed at a scale that is appropriate to the surrounding environment and enhances pedestrian activity. All building designs shall incorporate the appropriate proportion of form, mass, and height to be sensitive to the street frontages and to the pedestrian experience through quality architecture, sensitivity to scale and the natural environment of the site. The buildings should incorporate a combination of the following design features to achieve this goal:

- A. Locate and design structures at a scale and function that enhances and encourages pedestrian activity.
- B. Where feasible, building forms and heights should be interconnecting and overlap to break up extensive building elevations.
- C. All design shall incorporate a combination of compatible architectural styles and forms to ensure the development achieves an image that is distinctive yet unified. Box-like designs are prohibited.
- D. A variety of shapes and forms including architectural projections such as chimneys, balconies, porches, patios, exposed trellis, arcades, dormers, rafters, and planter boxes should be incorporated, when appropriate, to break up the building mass.
- E. The overall scale and design of the buildings in individual neighborhoods should be compatible with each other in terms of mass and form.



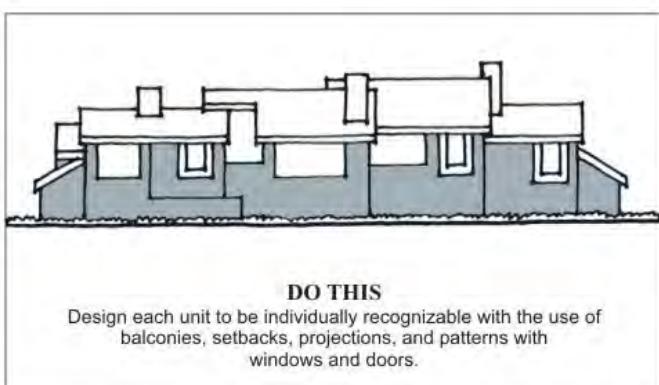
#### DO THIS

Plot alternative floor plan types and/or elevation styles on contiguous lots.



#### DON'T DO THIS

Avoid long, unbroken facades and box-like forms.



#### DO THIS

Design each unit to be individually recognizable with the use of balconies, setbacks, projections, and patterns with windows and doors.

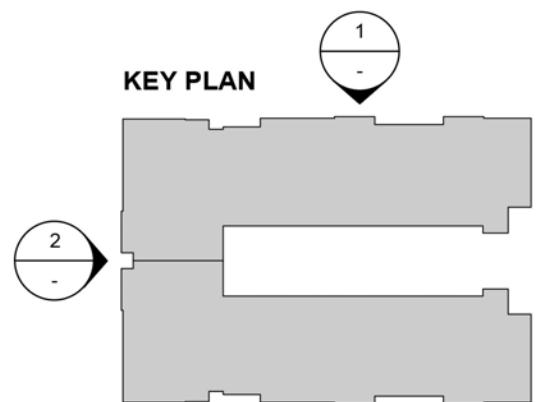
# OAK SPRINGS RANCH

## LEGEND

### MATERIAL LEGEND:

- PL-01 16/20 SAND FLOAT PLASTER, TYPICAL
- WD-01 FIBER CEMENT SIDING, OR EQUAL
- WD-02 WOOD RAILING
- ST-01 STONE VENEER
- W-01 VINYL WINDOW COLOR: GRAY
- R-01 FLAT CONCRETE ROOFING TILE COLOR: EAGLE CANYON BLEND OR EQ.
- D-01 ALUMINUM GARAGE DOOR
- AL-01 ALUMINUM TRELLIS
- P-01 SW 7037 - BALANCED BEIGE
- P-02 SW 7038 - TONY TAUPE
- P-03 SW 7039 - VIRTUAL TAUPE
- P-04 SW 0010 - WICKERWORK
- P-05 SW 9172 - STUDIO CLAY
- P-06 SW 7052 - GRAY AREA

### KEY PLAN



### MULTIFAMILY PRODUCT ELEVATIONS



not to scale

### FRONT





*This page intentionally left blank.*

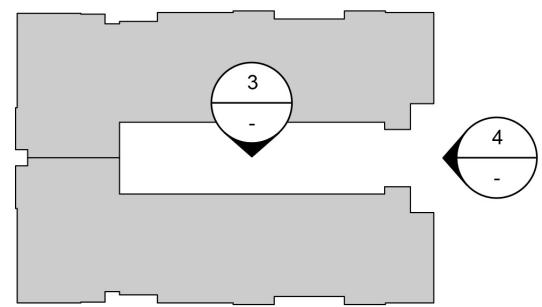
# OAK SPRINGS RANCH

## LEGEND

### MATERIAL LEGEND:

PL-01	16/20 SAND FLOAT PLASTER, TYPICAL
WD-01	FIBER CEMENT SIDING, OR EQUAL
WD-02	WOOD RAILING
ST-01	STONE VENEER
W-01	VINYL WINDOW COLOR: GRAY
R-01	FLAT CONCRETE ROOFING TILE COLOR: EAGLE CANYON BLEND OR EQ.
D-01	ALUMINUM GARAGE DOOR
AL-01	ALUMINUM TRELLIS
P-01	SW 7037 - BALANCED BEIGE
P-02	SW 7038 - TONY TAUPE
P-03	SW 7039 - VIRTUAL TAUPE
P-04	SW 0010 - WICKERWORK
P-05	SW 9172 - STUDIO CLAY
P-06	SW 7052 - GRAY AREA

### KEY PLAN



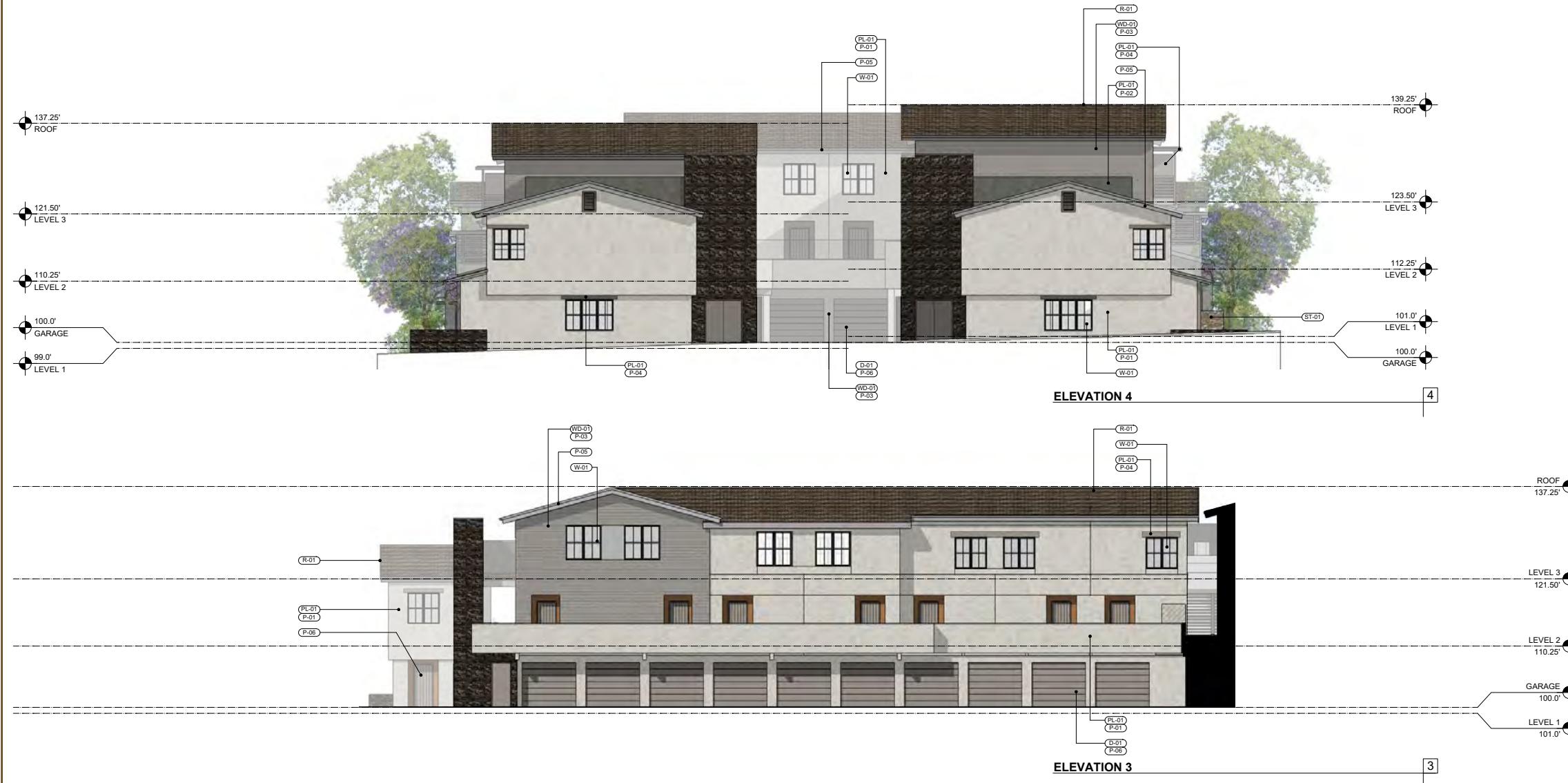
### MULTIFAMILY PRODUCT ELEVATIONS



not to scale

FIGURE 7-10b

REAR





*This page intentionally left blank.*

## OAK SPRINGS RANCH SPECIFIC PLAN

- F. Buildings should be designed to be pedestrian oriented with pedestrian-scaled building elements at the ground level (e.g., columns, pillars, covered entries, patios, trellises, bay windows, or planters).
- G. Open the plan of the corner lots to allow for substantial street scene variation.

### 7.6.3 Shade and Shadow

The buildings should be situated to maximize natural light, sun exposure, and shade to the extent feasible given the topographic opportunities and natural amenities of the Plan Area. Therefore, the following considerations should be incorporated to maximize the benefits of proper building orientation and the environmental opportunities of the Plan Area:

- A. Buildings should be oriented to take advantage of natural light, heat, shade, and shadow, which will help reduce energy consumption and encourage energy conservation.
- B. Lot size and configuration should consider future orientation of a structure to take advantage of shade and prevailing winds.
- C. Covered entries, balconies, and porches should be incorporated to provide shadow and shade for each residential unit, to the extent feasible.
- D. Windows should be framed with compatible materials to create well-defined edge treatments and be designed to provide distinctive shadows on the building façades.
- E. Landscaping should be planted near buildings to provide shade and shadow.

### 7.6.4 Building Relief

The building design shall be sensitive to the visual character of the elevations and the street frontages and incorporate a pedestrian orientation to the extent feasible. In addition, the building façades shall be richly detailed to avoid extensive plain surfaces. The building façades will also be characterized by differentiated design, massing, articulated rooflines, covered entries, and façade projections and recessions. The combination of the following design guidelines should be incorporated to create building relief and sensitivity to the pedestrian:



- A. All elevations visible from public or private spaces should be articulated.
- B. To reduce the apparent scale and provide visual interest, wall surfaces should contain a variety of articulations, such as offsets, projections, step-backs, penetrations, and surface textures.

## OAK SPRINGS RANCH SPECIFIC PLAN

- C. Design features such as pillars, columns, trellises, bay windows, and other architectural features should be incorporated into the building elevations to add visual interest and create a pedestrian orientation to the building.
- D. Second stories should be stepped back or provide projected elements to add relief to the higher building elevations.
- E. Variations in colors, materials, and textures should be incorporated to enhance visual aesthetics.
- F. Roof planes should be varied in size and pitch to break up the building elevation.
- G. Entries should be covered and recessed or project from the building to be clearly defined.
- H. Recessed doors, windows, and wall openings should be used to create a sense of depth and shadowing for visual variety and interest.
- I. Balconies and porches are strongly encouraged to articulate and enhance the building elevations.
- J. Exterior stairs should be designed to be incorporated into the theme of the structure and to be a natural extension of the building.



### 7.6.5 Building Materials

To achieve architectural diversity and continuity, a variety of materials and colors are acceptable. The following design elements are encouraged:

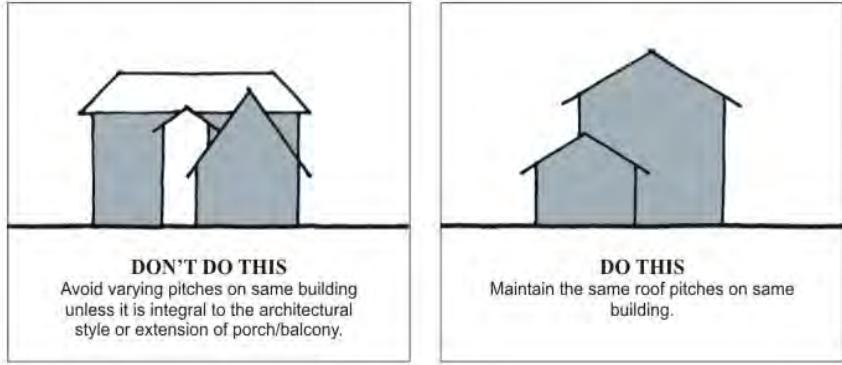
- A. Exterior building materials should be wood or wood-like siding, cement, stucco, plaster, or a similarly durable material.
- B. Each architectural style may include a different predominant façade material or color to promote individuality within the development.
- C. Accent materials such as concrete masonry units, iron, stone, rock, brick, or tile are encouraged to add texture and definition to building elevations.
- A. Colored accents are encouraged, especially on balcony rails and trim, provided that they are appropriately integrated in an overall design program.
- D. Materials are to be durable, appropriately scaled, and aesthetically pleasing to promote the overall quality of the project.
- E. Material and color sample boards shall be provided for each residential development.

## OAK SPRINGS RANCH SPECIFIC PLAN

### 7.6.6 Roof Form and Materials

The dominant impact of a home or structure is the shape of the building and roofline. Articulated rear elevations and varying roof planes minimize the visual impact of repetitious flat planes, similar building form, and ridge heights. To ensure a high visual quality within the community, the following components are strongly encouraged:

- A. A hierarchy of roofs to define building entries and add architectural creativity to a building.
- B. Buildings should be designed to create visual interest by using varying rooflines, roof overhangs and building offsets.
- C. Roof sizes and pitches shall vary based on the architectural style being implemented.
- D. Exposed and extended rafters are encouraged to add dimension and visual interest to the building design.



- E. Buildings should incorporate crown molding or decorative cornices at the roofline or building parapet when appropriate given the architectural design of the building.

- F. Exposed roof materials should be a combination of 'S' shaped tile, concrete tile, or other similar durable material.

- G. Roof colors and composition should vary within the project to add interest and variety to the streetscape.



- H. Roof elements such as chimneys and vents shall also be incorporated into the design the roof.

### 7.6.7 Accessory Structures

Accessory structures such as trellises, benches, bicycle racks, mailboxes, trash receptacles and enclosures, lighting, gates, and signs can add charm to a neighborhood, enhance the pedestrian experience, and serve as elements to create continuity among different architectural styles. Site furnishings should reinforce the architectural character of the Plan Area and add charm within the community. The following guidelines should be incorporated throughout the project:

- A. Trash enclosures shall be located in areas of low visibility to the extent feasible, yet placed in locations that allow easy access to the enclosure and that do not damage surrounding landscaping.

## OAK SPRINGS RANCH SPECIFIC PLAN

- B. Trash enclosures shall be constructed of painted stucco-finished block, decorative block, or a similarly durable material. The enclosure shall be designed to integrate with the overall design theme of the development. If trash enclosures are located adjacent to or within a landscaped area, vines shall be planted in a manner to help screen the enclosure.
- C. Covered wood trellises are strongly encouraged above trash enclosures or above a significant point of interest. Trellises soften the appearance of accessory structures and add architectural articulation to otherwise large expanses of openness.
- D. Design accessory elements should be a logical extension of the main structure.
- E. Ensure accessory structures or street furniture are durable, easy to maintain, and designed at a scale that is pedestrian oriented.
- F. Distribute street amenities along the street scene to help lead the pedestrian and to help improve the overall experience for pedestrians walking through the neighborhoods.



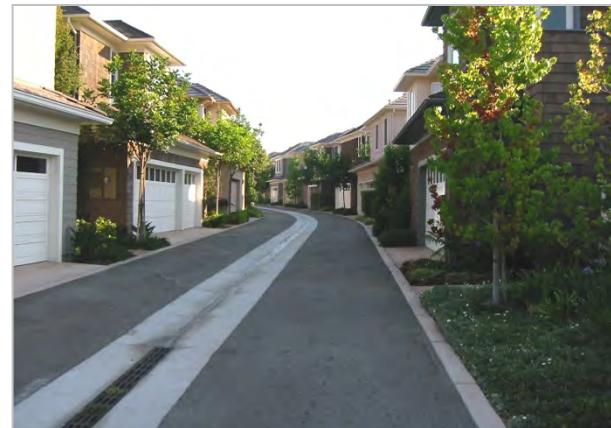
## OAK SPRINGS RANCH SPECIFIC PLAN

### 7.7 Landscaping, Open Space, Recreation, and Lighting

The landscape design guidelines establish a landscape theme for Oak Springs Ranch and set forth general criteria for landscaping of the residential communities and recreational amenities. These guidelines, consisting of a written summary and graphic exhibits, establish landscape criteria for entries, streetscapes, medians, recreational amenities, pocket parks, plant palette, lighting, and walls in order to create a unifying fabric for the community.

The Oak Springs Ranch *Landscape Plan*, Figure 7-11, is driven by the desire to integrate the proposed master-planned community into Wildomar and to create an identifiable sense of place. Landscape and streetscape elements will be used to create visual continuity throughout Oak Springs Ranch. Community elements such as entries, streetscapes, and walls will establish the design theme for the community by reinforcing the design hierarchy and by providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements.

Efforts shall be concentrated along the perimeters of the development projects and the edges of the lots to ensure that the community's visual character is established, and to achieve the Specific Plan's goals. The landscape plan calls for a compatible plant palette of trees, shrubs, and ground covers. Once a particular plant or plant combination is used for a particular application, it shall be repeated in similar areas of the community to reinforce a sense of neighborhood cohesion. Landscape design shall not, however, result in monotony or lack of variety or plant diversity. The following is a description of landscape elements for the specific plan. These elements shall be detailed at the site development plan level or other discretionary permit for each planning area. The landscape design is based on the vision and goals of the Specific Plan.



#### 7.7.1 Coverage

All areas required to be landscaped shall be planted with turf, groundcover, shrubs, or trees selected from the plant palette contained in these guidelines. A combination of hydroseed mix and groundcovers shall be used to cover areas between shrubs and trees to prevent erosion. Colorful perennials will also be a part of these plantings. Plants with similar watering requirements shall be planted together in order to simplify the irrigation systems and increase water use efficiency. Priority use of water shall be considered, meaning that visually sensitive areas are entitled to use more water than low visual impact areas. Visually sensitive areas include project entries, open space edges and highly traveled street frontages. Trees shall be placed along open space edges in a manner not to impact the visual character of the open space nor impair the scenic vistas of the open space.

## OAK SPRINGS RANCH SPECIFIC PLAN

### 7.7.2 Plant Palette

#### Trees

<i>Washingtonia filifera</i>	California fan palm
<i>Cercis Occidentalis</i>	Western redbud
<i>Lagerstroemi falieri</i>	Red crepe myrtle
<i>Pinus Torreyana</i>	Torrey pine
<i>Plantus Racemosa</i>	California sycamore
<i>Podocarpus gracilior</i>	Fern pine
<i>Prunus cerasifera 'kraijter vesuvius'</i>	Purple leaf plum
<i>Quercus agrifolia</i>	Coast live oak
<i>Quercus engelmannii</i>	Engelmann oak
<i>Quercus lobata</i>	Valley oak
<i>Robinia ambigua 'purple robe'</i>	Pink flowering locust

#### Ornamental Shrub Planting

<i>Escallonia fradesi</i>	Escallonia
<i>Photinia fraseri</i>	Fraser's photinia
<i>Dites vegeta</i>	Fortnight iris
<i>Pittosporum tobira 'variegata'</i>	Varegated tobira
<i>Raphiolepis indica 'clara'</i>	Indian hawthorn
<i>Hemerocallis hybrids</i>	Daylily
<i>Parthenocissus tricuspidata</i>	Boston ivy
50/50 Goldovers	Wood mulch

#### Native Planting

<i>Quercus agrifolia</i>	Coast live oak
<i>Arctostaphylos uva ursi</i>	Kinnicknick
<i>Heteromeles arbutifolia</i>	Toyon
<i>Rhus integrifolia</i>	Lemonade bush
<i>Salvia greggii</i>	Autumn sage
<i>Heuchera hybrid</i>	Hybrid coral bells
<i>Iris Douglasiana</i>	Pacific Coast iris
<i>Romneya coulteri 'white cloud'</i>	Matilija poppy

### 7.7.3 Drought Tolerance

The landscape palette for the Specific Plan shall promote selective drought tolerance through the use of native and naturalizing species. All common landscape areas shall be equipped with automatic irrigation systems. A variety of irrigation methods can be used, although water conserving methods such as drip, bubbler, and microspray techniques are encouraged where feasible. Automatic controllers shall be equipped with automatic rain-shut-off devices and provide for various types of water management options. All aboveground controllers should be screened with plant material.

# OAK SPRINGS RANCH

## LANDSCAPE PLAN



FIGURE 7-11



*This page intentionally left blank.*



#### 7.7.4 Spaces (Patios, Green Space, Trails, Recreation Areas)

An overall landscaping framework will be established, intertwining both community-wide and neighborhood-oriented concepts, and will provide active and passive recreation spaces, formally landscaped areas, and natural and informal areas.

Existing within the Plan Area is a significant natural open space riparian habitat (Planning Area 3) that separates the two residential planning areas (Planning Areas 1 and 2) and traverses the southeastern boundary of the Plan Area (see Figure 3-1, *Land Use Plan*). This natural open space area is considered an amenity to the community. It supports a diversity of plant and wildlife species while serving important environmental functions, including capturing and slowly reintroducing water into the natural system with a reduced risk of flooding. Observation areas along the 12-foot-wide community trail (see Figure 7-12, *Recreation Plan*) have been designed along the southern edge of the riparian area allowing residents and community trail users to observe the indigenous trees, mainly specimen oaks, and wildlife within the open space. A six-foot-wide multi-use trail comprised of stabilized decomposed granite traverses along the edges of the open space habitat area (see Figure 7-12) and connects to the various recreation areas and par course stations.



Neighborhood recreation centers are located in both multifamily residential neighborhoods (Planning Areas 1 and 2), as shown on Figure 7-12. These recreational centers are intended to be utilized concurrently by many families and shall include amenities such as pools, spas, picnic areas, a clubhouse, fitness center, basketball and volleyball courts, restrooms, tot lots, and open outdoor lawn areas.

Neighborhood recreation areas or smaller pocket parks are located throughout the Plan Area as shown on Figure 7-12. Generally, they are at a slight to no grade and are approximately the size of a residential lot. It is preferred that these recreation areas or pocket parks be located adjacent to an open space or pedestrian paseo to take advantage of the passive and active activities offered by these adjacent recreational uses. Sites that are easily accessed or that contain a view or other visual amenity are recommended for the development of the aforementioned recreation areas and pocket parks. The neighborhood recreation areas or pocket parks shall include open lawn play areas, tot lots, open lawn areas, swimming pools, par course, and picnic areas. Figures 7-13a, 7-13b, and 7-14 provide enlarged illustrations of the various recreation centers and areas.

Par course stations are also provided along the multi-use trail within all three planning areas as shown on Figure 7-12. The par course stations are designed to provide exercise areas for the residents of the community. The par course stations provide exercise equipment such as a challenge ladder with sit-up bench and spring-up bars (see Figure 7-15, *Typical Par Course Station*).



## 7.7.5 Special Treatments/Buffer Area

Landscape guidelines have been developed for the buffer areas to ensure that the plant palette consists of native species that are compatible with the open space plant species. Along the edges of lots adjacent to Planning Area 3, or natural open space, it is preferred that more fire-resistant plant species be used.



## 7.7.6 Lighting

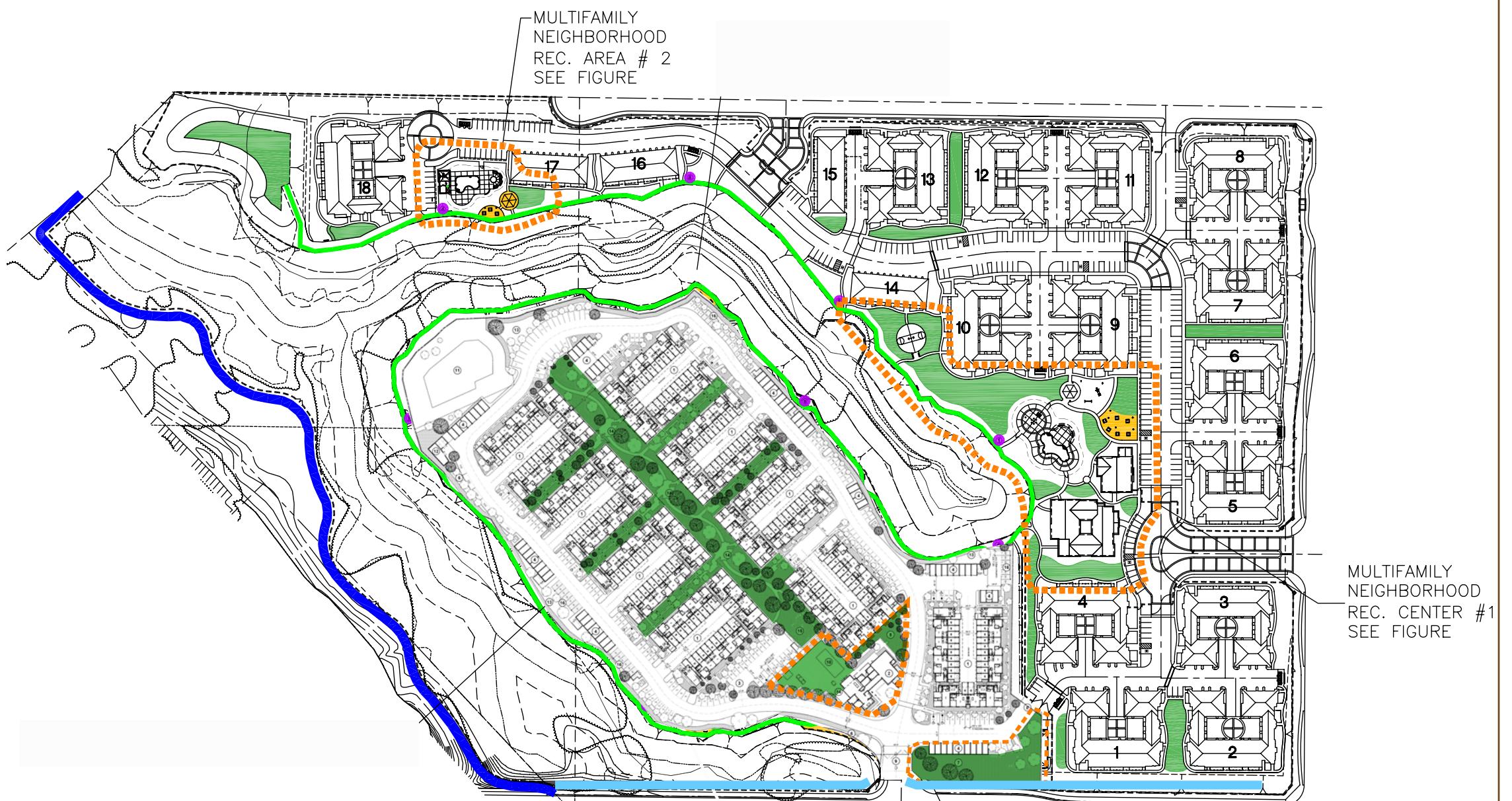
The basic concept for the Oak Springs Ranch outdoor lighting is to provide levels of lighting sufficient to meet the needs of orientation and safety, but low enough to prevent them from being intrusive to the livability of the community (and consistent with the City's light pollution ordinance, Section 8.64 of the Wildomar Municipal Code). Within public areas, light sources shall be concealed and indirect, while preventing substantial light spillage and glare into adjacent lots or uses. The following guidelines should be incorporated to ensure appropriate design, placement, and application of lighting is achieved on-site:

- A. Lighting of the site and structures should be designed for visibility, security, and night usage where applicable. Structures should be washed with a focus on signage for way finding.
- B. Lighting sources shall not be directed into adjacent lots or uses. Light spill should be minimized.
- C. Up-lighting of trees in focal areas is encouraged for both definition and direction where night use is anticipated.
- D. Similar building fixtures should be used to provide continuity and compatibility throughout the project site.
- E. Light fixtures should be durable, easy to maintain, and designed at a scale that is sensitive to the pedestrian.
- F. All lighting shall be in compliance with the provisions of Section 8.64 (Light Pollution Ordinance) of the Wildomar Municipal Code.
- G. Light fixtures that complement the architectural design shall be incorporated into building façades.
- H. Lighting should be warm in color. It is recommended that cool-colored light produced from mercury vapor, sodium, neon, and cool fluorescent be avoided.

# OAK SPRINGS RANCH

## LEGEND

- PAR COURSE STATION
- RECREATION AREA
- PERIMETER MULTI-USE TRAIL
- 12' WIDE D.G. REGIONAL TRAIL
- 8'-10' WIDE D.G. COMMUNITY TRAIL
- OPEN LAWN AREA
- PICNIC AREA



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

NOT TO SCALE N

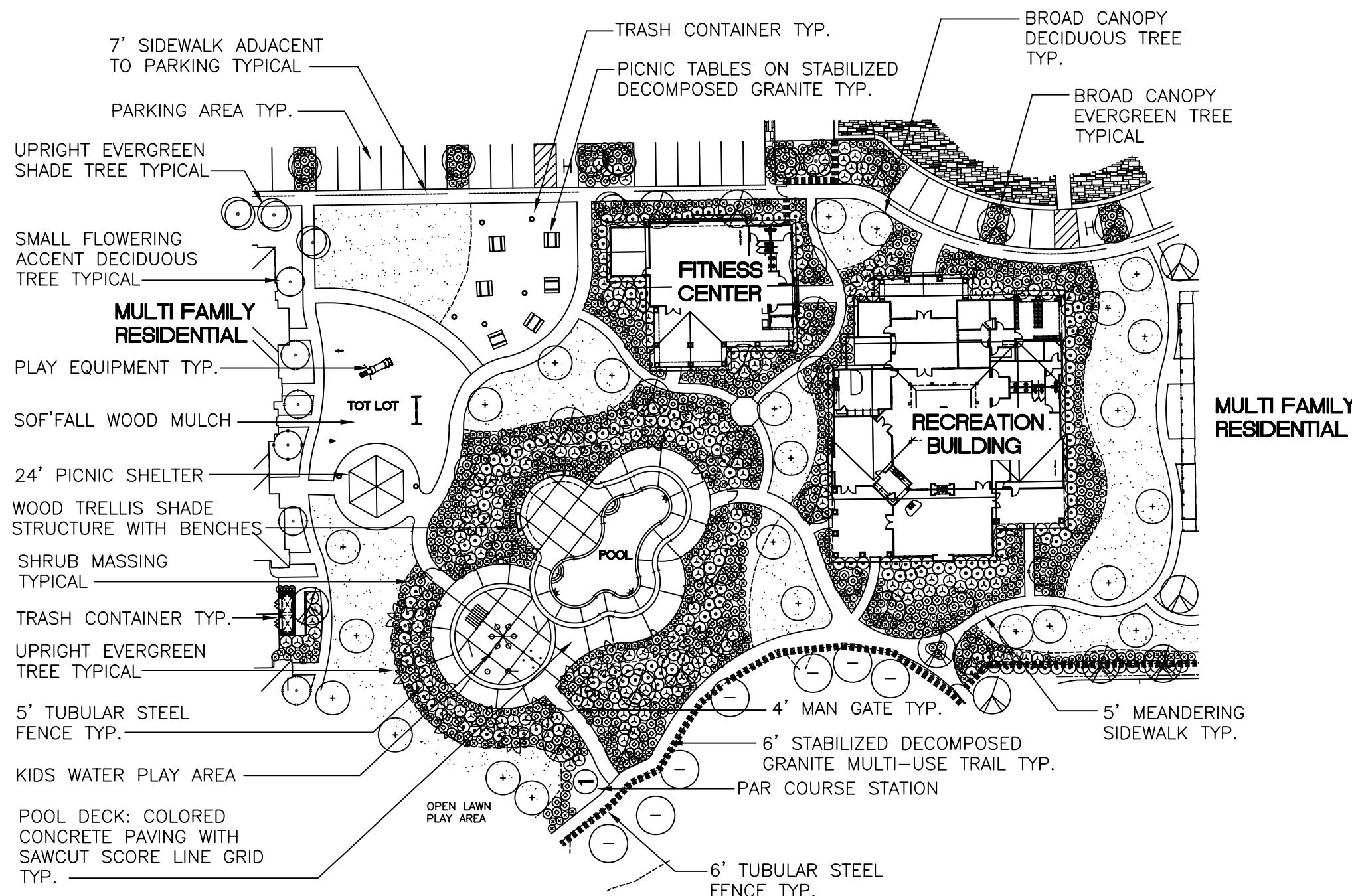
## RECREATION PLAN



FIGURE 7-12

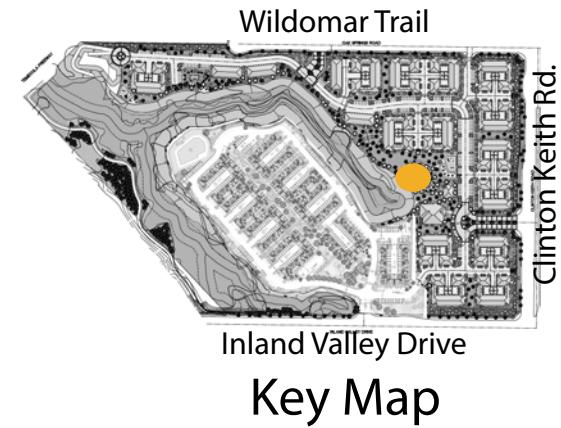
*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale 



MULTIFAMILY NEIGHBORHOOD RECREATION CENTER (PA 1)

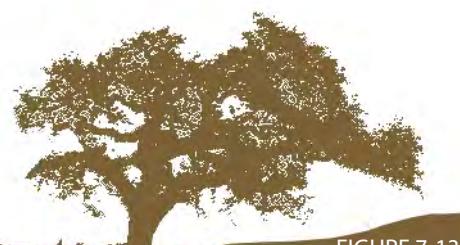
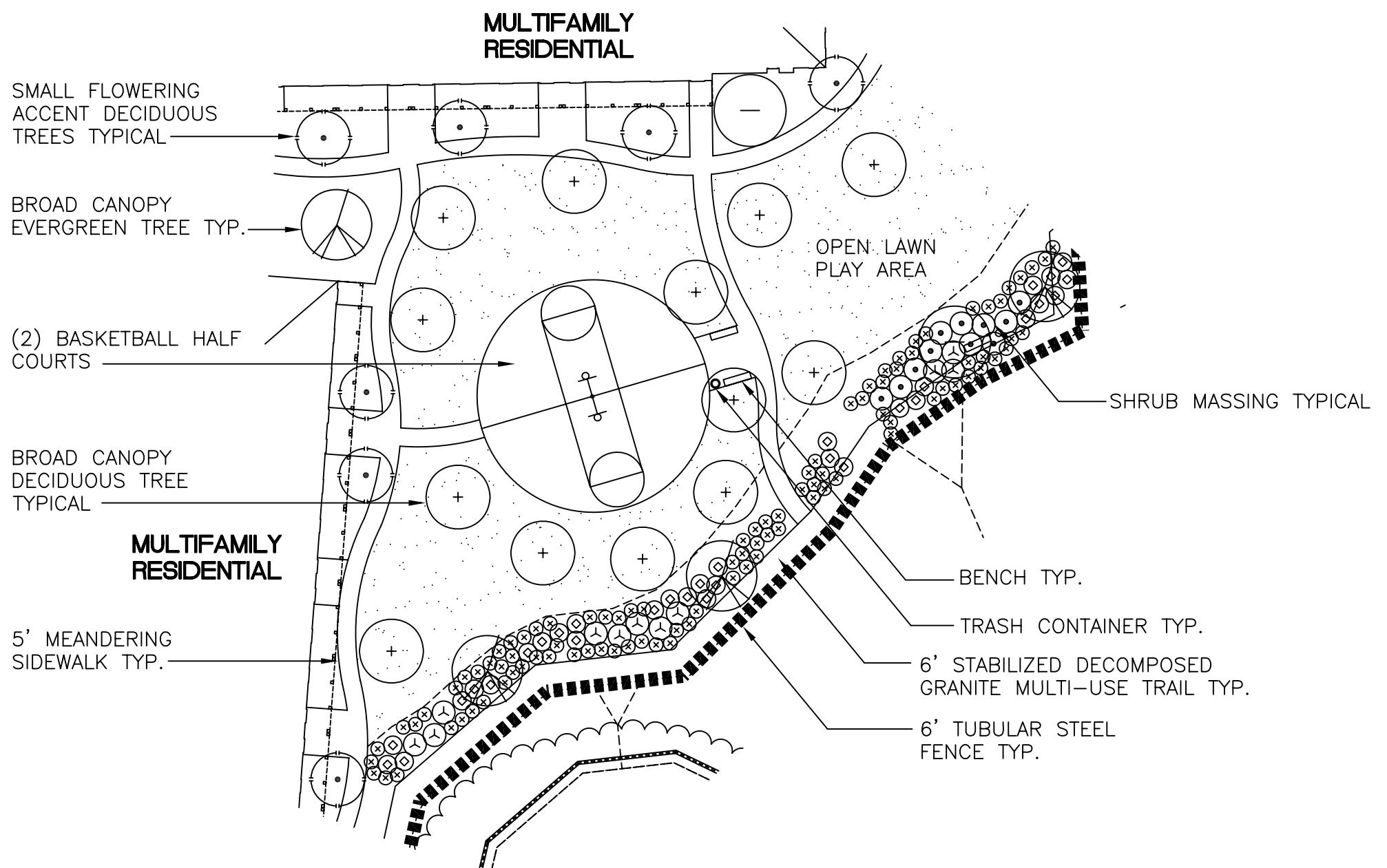


FIGURE 7-13a

*This page intentionally left blank.*

# OAK SPRINGS RANCH



not to scale



## MULTIFAMILY NEIGHBORHOOD RECREATION CENTER (PA 1)

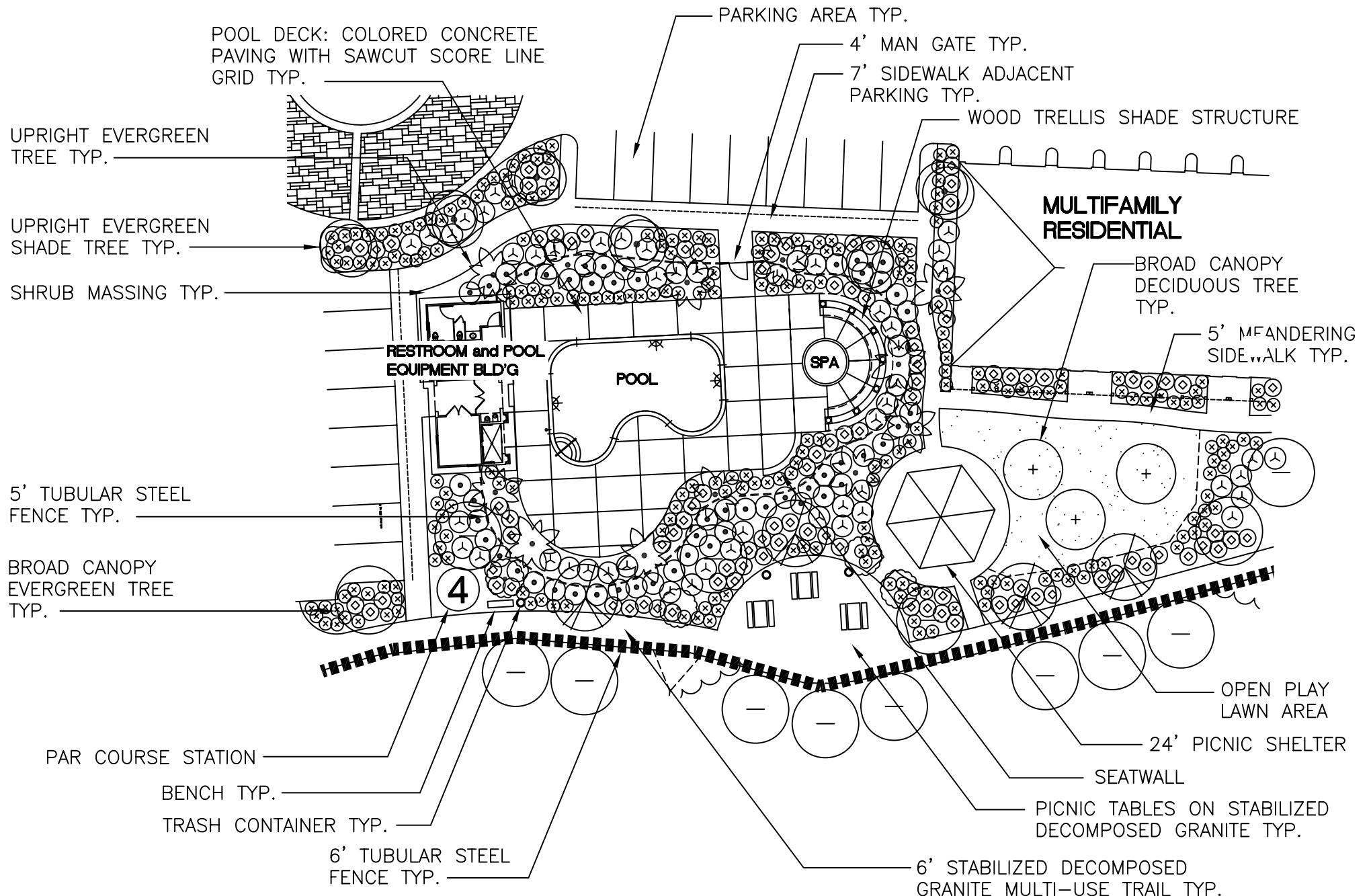


FIGURE 7-13b

Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

*This page intentionally left blank.*

# OAK SPRINGS RANCH



MULTIFAMILY NEIGHBORHOOD RECREATION AREA 2 (PA 1)



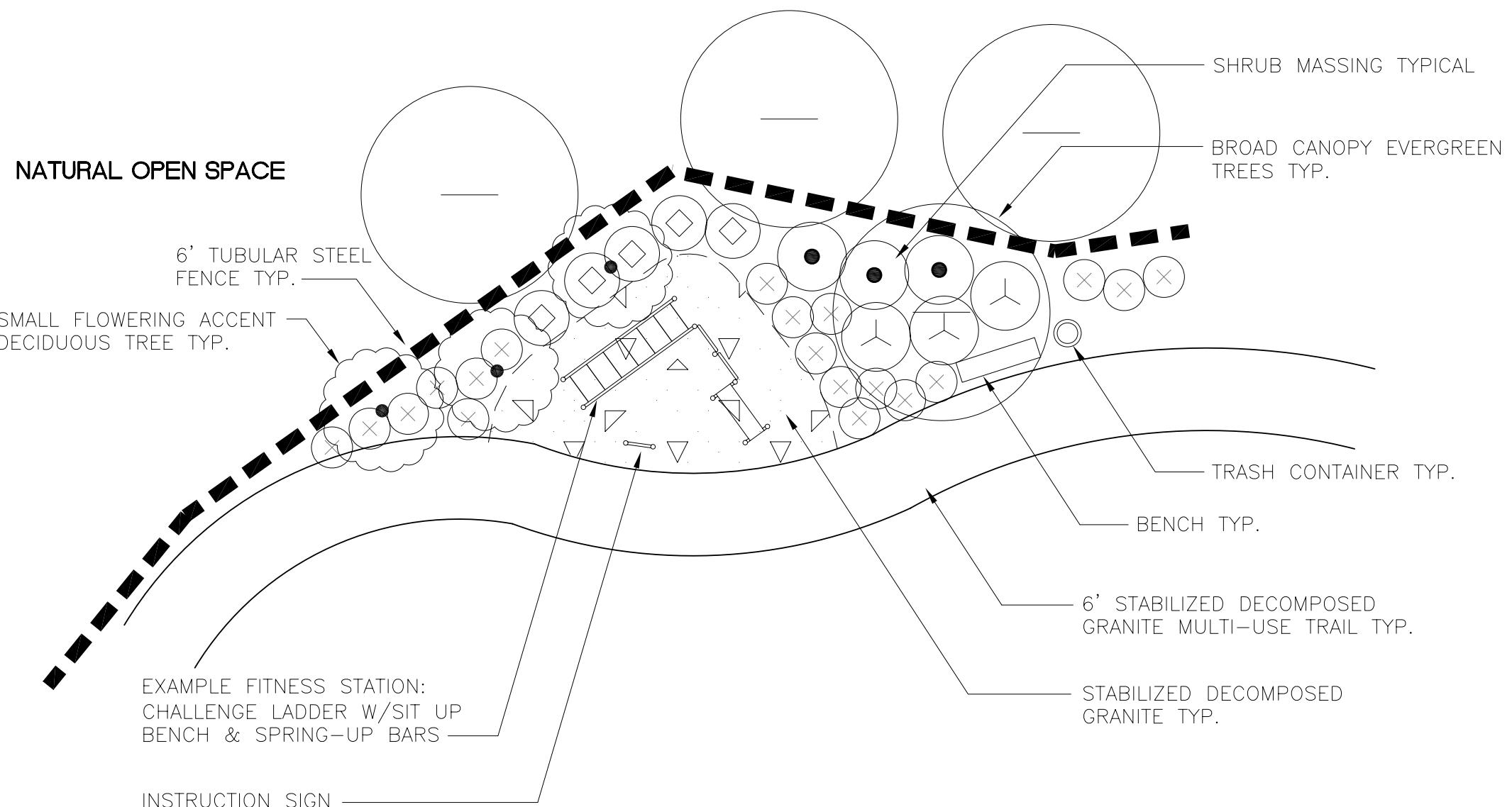
Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale



*This page intentionally left blank.*

# OAK SPRINGS RANCH



Note: For tree, shrub, and ground cover species, see planting palette in Section 7.7.2.

not to scale



## TYPICAL PAR COURSE STATION



FIGURE 7-15



*This page intentionally left blank.*



### 7.7.7 Site Furnishings

Accessory structures such as trellises, benches, bicycle racks, mailboxes, and signs can add charm to a development and enhance the pedestrian experience. Site furnishings are to reinforce the architectural character of the site and be compatible with the community. The following guidelines should be applied to ensure continuity within Oak Springs Ranch:

- A. Ensure that accessory structures and street furniture are durable, easy to maintain, and are designed at a scale that is pedestrian oriented.
- B. Distribute street amenities along the street scene to help lead the pedestrian and improve the overall pedestrian walking experience throughout the development.
- C. Similar building fixtures should be used to provide continuity and compatibility with the adjacent residential developments.
- D. Furniture such as large potted plants, light poles, benches, seat walls, tables, and chairs shall be incorporated throughout the project site, where feasible, to encourage pedestrian activity and to create a pedestrian-oriented environment.



## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*



## 8.0 DEVELOPMENT STANDARDS

---

### 8.1 Development Guidelines

The following residential planning standards incorporated into the Oak Springs Ranch Specific Plan (Specific Plan) to establish development criteria that will result in a quality development with sensitivity and preservation of the natural environment.

Specific development guidelines for Planning Areas 1 and 2 are intended to assure compatibility and continuity within the Specific Plan as well as other developments in the development area covered by the Specific Plan (Plan Area). A combination of the following guidelines should be incorporated to ensure Oak Springs Ranch is a quality community that provides a variety of housing types, preserves the natural environmental features, and is a pedestrian-oriented community that integrates into the City of Wildomar (City):

- A. Design a community that considers the topographic, geologic, and hydrologic opportunities and constraints of the land.
- B. Develop a community that reflects anticipated market needs and public demand by providing a range of housing types, which will be marketable within the developing economic profile of the County of Riverside.
- C. Provide planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- D. Create a high standard in neighborhood design and implement it consistently over an entire new community creating an identifiable and unique place.
- E. Create neighborhood designs that integrate architecture, site planning, and landscape.
- F. Incorporate a variety of recreational and open space areas. The recreation areas should offer a variety of active and passive uses. The open space areas should also provide a variety of amenities, from man-made landscape features to the existing riparian habitat and native planting on-site.
- G. Protect natural features and views of the environmentally sensitive areas of the site.
- H. Create interfaces by connecting contrasting boundaries between distinctly different characteristics of existing neighborhoods.
- I. Create a distinct sense of neighborhood and place by designing attractive and comfortable street scenes and street spaces.



- J. Plan and design streets that are visually integrated into the landscape by giving consideration to the topography and natural features of the site.
- K. Design communities that incorporate neighborhood parks, trails, and open spaces.
- L. Provide 360-degree architecture on all building facades, with a higher emphasis on facades visible from streets or open spaces.
- M. Incorporate connectivity through pedestrian trails, paths or sidewalks throughout the site and the adjacent community.
- N. Design neighborhoods that integrate into the regional alternate transportation system including bus and bicycle systems.

## 8.2 Planning Areas 1 and 2 Permitted Uses

The following uses are allowed, provided a plot plan has been approved by the City:

- Attached single-family residences
- Alley-loaded units
- Condominiums
- Multifamily dwellings, bungalow courts and apartments
- Planned residential developments, provided a land division is approved by the City
- Accessory buildings to a specific permitted use, provided that the accessory building is established as an ancillary use and does not change the character of that use
- Home occupations
- Public parks and playgrounds, golf courses with standard-length fairways, and country clubs
- Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years
- Congregate care residential facilities

The City's Planning Director has the authority to make an administrative determination on any uses that are not specifically listed above.

## 8.3 Planning Area 3 Permitted Uses

The following uses are allowed:

- Open space
- Trails



## 8.4 Multifamily, Apartments, and Attached Multi-Family Residential Development Standards (Planning Areas 1 and 2)

### 8.4.1 Residential Development Standards

#### *Minimum Floor Area*

- One-bedroom unit: 675 sq. ft.
- Two-bedroom unit: 900 sq. ft.
- Three-bedroom unit: 1,150 sq. ft.

#### *Minimum Private Open Space (Patios, etc.)*

- First Floor: 60 sq. ft. per unit for 80 percent of the units
- Second and third floors: 40 sq. ft. per unit for 80 percent of the units

#### *Lot Coverage:*

- Maximum lot coverage: 50 percent

#### *Lot Dimensions*

- Minimum lot size: 7,200 sq. ft.
- Minimum lot width: 60 ft.
- Minimum lot depth: 100 ft.

#### *Building Setbacks*

- Front yard facing a public street: 20 ft. minimum to right-of-way
- Front yard facing a private street: 12 ft. minimum to curb face (parking may encroach)
- Side or rear yard facing a public street: 15 ft. minimum to right-of-way
- Side or rear yard facing a private street or driveway: 5 ft. minimum to curb face
- Side or rear yard facing an autocourt: 0 ft.
- Architectural features such as fireplaces or bay windows may encroach up to three feet into a setback.

#### *Minimum Building Separation*

- One Story: 10 ft.
- Two Story: 15 ft.
- Three Story: 20 ft.



### ***Maximum Structure Height***

- Maximum Structure Height: 50 ft.

#### **8.4.2 Parking Standards**

Parking requirements shall be pursuant to Chapter 17.188, Off-Street Vehicle Parking Standards, of the Wildomar Municipal Code unless otherwise stipulated in this Specific Plan.

##### ***Multifamily***

- One-bedroom unit or studio: 1.25 spaces/unit
- Two-bedroom unit: 2.25 spaces/unit
- Three-bedroom unit: 2.75 spaces/unit
- Employee parking: 1 space/employee

Parking must be located on-site and conveniently distributed throughout the project. For multiple-family residences, condominiums, planned residential developments, and senior-citizen planned residential developments, at least one of the required parking spaces per unit shall be located in a garage or carport, which is architecturally harmonious with the main structure.

### **8.5 Conditions of Development for Planned Residential Development**

Before any structure is erected or use established in Planning Areas 1 or 2, a subdivision map shall be recorded (if applicable) and a development plan approved as set forth below:

- A subdivision conforming to the standards and conditions of Title 16 of the Wildomar Municipal Code, as presently worded or hereafter amended, not inconsistent with specific provisions of this section shall be recorded. All lots not to be used for residential purposes shall be given a lot letter instead of a lot number.
- A development plan conforming to the requirements of this article and containing the following minimum information shall be approved by the Wildomar Planning Commission.
  - Location of each existing and each proposed structure in the development area, the use or uses to be contained therein. Typical plans indicating use on a lot may be used.
  - Location of all pedestrian walks, malls, recreation, and other open areas for the use of occupants and members of the public.
  - Location and height of all walls, fences, and screen planting, including a plan for the landscaping of the development, types of surfacing, such as paving, turfing, or other landscaping to be used at various locations.
  - Plans and elevations of typical structures to indicate architectural type and construction standards.



C. Documents setting forth the method of conveying title, the type of estate to be granted, the method of maintaining the open areas and service areas, and the conditions of use of the open or recreation areas shall be submitted to and approved by the Wildomar Planning Commission. The following minimum standards shall be maintained:

- The right to use recreational facilities and service areas shall be appurtenant to ownership of residential lots within the development, or shall be made a covenant to run with the land.
- Provisions shall be made for maintenance of the common and service areas by a corporation, partnership, trust, or other legal entity having the right to assess the individual lot owners.

## 8.6 Site Layout

The site layout provided in Figure 3-2, *Land Use Plan*, of this Specific Plan is for conceptual purposes only. It is anticipated that the building size, footprint, access points, and parking layout will vary once a specific user is identified, and the final site plan is approved. However, the final site plan shall include the pedestrian connections as discussed below as well as vehicular access to each planning area that is approved by the City. The final site plan (including building layout, access points, building elevations, etc.) shall be approved administratively by the Wildomar Planning Director.

## 8.7 Pedestrian Access

As stated above, the following planning standards should be incorporated into the project design to maintain the pedestrian orientation of Oak Springs Ranch:

- Consideration shall be given to pedestrian circulation patterns, sunlight conditions, wind pattern, and the selection of building and landscape materials when locating a pedestrian open space or pathway.
- Walkways should be designed at a human scale to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large spaces.
- Planned pedestrian circulation systems shall be incorporated into all site plans to provide the space and alignment for walkways necessary to encourage pedestrian movement.

## 8.8 Signs

Appropriate signage is important in maintaining the community design theme and provides a system of directional information for residents and visitors. Special signage will identify the individual planning areas. These guidelines and standards, when combined with the building and landscape guidelines and standards will help create a sense of place throughout the Plan Area. Unless noted in this specific plan, all signs shall comply with the requirements of Chapter 17.252, Sign Regulations, of the Wildomar Municipal Code. Individual sign programs will be submitted at the time of site development permit review for each planning area.



The following basic principles shall be considered in the provision of signs within this specific plan:

- A. The design and architectural elements of the proposed signs shall be compatible and consistent with theme elements of the Specific Plan.
- B. Signs shall relate to human scale, especially along pedestrian corridors.
- C. The design of signs shall be compatible with and complement the architecture of the adjacent buildings.
- D. Signs shall be designed to create a unifying theme within the community.

Signs utilized in Oak Springs Ranch include both temporary and permanent types as follows.

### **8.8.1 Permanent Signs**

- Street Signs
- Project Identification
- Fire Lane Signs
- Community/Gated Entry Signs
- Community and Neighborhood Monumentation (see Figure 7-4, *Corner & Entry Monument Walls*)

### **8.8.2 Temporary Signs (present until the completion of project construction)**

- Marketing and subdivision sale signs
- Future facility signs
- Directional signs
- Banners and flags

### **8.8.3 General Sign Standards and Specifications**

- A. Planning Department and Building and Safety Department review and approval are required prior to the placing, erecting, moving, or reconstructing of any sign within the Plan Area.
- B. Signs shall be consistent with building texture, color, and architectural style.
- C. All permanent signs shall require a permit prior to erecting or attaching the sign.
- D. If a situation arises that is not covered by these sign regulations or the type of sign permit required, the Planning Director shall provide written interpretation after consulting the City's sign regulations.
- E. All building-mounted signs shall meet applicable City and state codes.
- F. All signs containing electrical components shall conform to the Uniform Lighting Code.



- G. Signs shall be placed to be compatible with the building and shall accent the architectural design of the structure.
- H. Sign colors shall be compatible with the building's color and the building.
- I. Signs and letter sizes shall be designed to be complimentary to the building scale.
- J. Signs shall contain an internally or externally concealed illumination source.
- K. Entry and monument signs shall be architecturally compatible with the community.

#### **8.8.4 Inappropriate/Prohibited Signs**

- A. Signs that interfere with or conflict with any traffic control device, create a safety hazard by obstructing the clear view of pedestrian or vehicular traffic or interfere with efficient operations of emergency vehicles.
- B. Signs that prevent free access to or from any fire escape, door, window or exit, or access to any standpipe.
- C. Landscaping or the use of annual or ornamental flowers that form a sign or message.
- D. Signs not in scale with the pedestrian orientation.
- E. Signs painted onto building surfaces or trash bins and their enclosures.
- F. Signs with disproportionate, visually distracting, or reflective surfaced background or graphics.
- G. Signs with a noncontrasting background or graphics that render the sign illegible.

#### **8.8.5 Address Numerals**

All building-mounted address numerals are to conform to all graphic requirements for signage, herein, and the requirements of the Riverside County Fire Department.

#### **8.8.6 Directional Signage**

- A. Shall consist of small-scale signs that are compatible with the building architecture.
- B. Shall have contrasting background and graphic colors.
- C. Shall have direct or indirect concealed illumination.
- D. Shall not exceed three square feet in area, or have an overall height exceeding three feet above finished grade.

#### **8.8.7 Leasing and Temporary Signs**

Leasing, temporary, and future facilities signage shall be permitted for any residential use, provided that the maximum area does not exceed 16 square feet, nor shall the height of the sign exceed 8 feet above finished grade.

## OAK SPRINGS RANCH SPECIFIC PLAN



*This page intentionally left blank.*